

**MANASQUAN PLANNING BOARD MEETING AGENDA  
CONDUCTED WITH ZOOM  
JUNE 07, 2022 7:00 PM – TUESDAY**

**Join Zoom Meeting**

<https://us06web.zoom.us/j/6652076223?pwd=WFZiUVcyQ0tqOHlrajFUa0dpRTc3Zz09>

**OR**

**Tel – 1-646 876 9923 US (New York)**

**ID # 665 207 6223**

**Password 365 120**

Please take notice that the Manasquan Planning Board will convene a remote meeting on June 07, 2022 7:00 PM. (The Board had previously advertised the said meeting, but the within notice is being re-advertised so as to publicize the remote nature of the same.) Due to the Coronavirus/COVID-19 Borough and State Directives, the said meeting is being held remotely, through a web-meeting conference communication system. The remote meeting format will allow Board Members and the Public to simultaneously hear, listen to, participate in, digest, observe, comment on, and/or otherwise object to any and all Board decisions/actions. The remote meeting format, as aforesaid, will allow the Borough's Planning Board to conduct business, without violating any Executive Orders, without violating any COVID-19 Health and Safety Protocol, and while still complying with the spirit and intent of Prevailing Provisions of New Jersey Law. (Please note that the public access to the Municipal Building is not currently permitted).

Members of the public are welcome to, and encouraged to, participate by observing/participating in the remote meeting. The meeting will be held via Zoom. You can access the meeting through the Zoom App via a smartphone or tablet, via a special link on your computer, or by telephone. Note the information printed above.

**PUBLIC MEETING**

Salute to the Flag

Roll Call

Sunshine Law Announcement

**OLD/NEW BUSINESS**

1. Approval of Vouchers
2. Regular Meeting Minutes - November 2, 2021
3. Regular Meeting Minutes - November 16, 2021
4. Regular Meeting Minutes - May 3, 2022
5. Yorey, Rosemary - 373 East Virginia Avenue - Request for Extension on Granted Variance

**RESOLUTION**

6. #22-2022 Manasquan Elks #2534 - 17 Stockton Lake Blvd. - Block 93 Lot 1.01 - Application #02-2022
7. #23-2022 Belmonte, Gerald & Eileen - 289 East Main Street - Block 117 Lot 15 - Application #05-2022
8. #24-2022 Dean, Thomas & Suzanne - 400 First Avenue/401 Beachfront - Block 187 Lot 11 - Application #06-2022

**APPLICATION**

- [9.](#) #43-2021 VFW Lodge 1838 -30 Ridge Avenue - Block 43 Lot 40.1 (carried from 3/1/2022)
- [10.](#) #03-2022 Lupinski, Marie, 13 1/2 Ocean Avenue - Block 157 Lot 4.03 (carried from 4/5/2022)
- [11.](#) #04-2022 - 120 South Street, LLC -120 South Street - Block 70 Lot 2.04 (carried from 4/5/2022)

### **OTHER BUSINESS**

Comments from individual board members

### **ADJOURNMENT**

B.O.M. RECEIVED  
M&G \_\_\_\_\_ ADM \_\_\_\_\_  
CLERK \_\_\_\_\_ CFO \_\_\_\_\_  
**SEP 13 2021**  
DPW \_\_\_\_\_ CONST \_\_\_\_\_  
PD \_\_\_\_\_ OTHER \_\_\_\_\_

September 9, 2021

Mary Salerno, Secretary  
Manasquan Borough Planning Board  
201 East Main Street  
Manasquan, NJ 08736

Re: Boro File No. MSPB-R1690  
Amended Site Plan – Manasquan VFW Lodge 1838  
Block 43, Lot 4.01  
30 Ridge Avenue  
R-2 - Residential Zone  
Borough of Manasquan, Monmouth County, NJ

Dear Ms. Salerno:

As per your request, I have reviewed the above-referenced application in accordance with the provisions of the Borough Land Development Ordinance. The documents reviewed in conjunction with this application include:

1. Amended Site Plan prepared by Ray Carpenter, PE, of R.C. Associates, Inc., dated October 11, 2012, last revised July 26, 2021.
2. Architectural Layout prepared by Brian Collins, RA, dated March 24, 2021.
3. Plan of Survey prepared by Charles O'Malley, PLS, dated March 4, 2021.

The property is located in the R-2 - Residential Zone with frontage on Ridge Avenue. With this application, the applicant proposes to construct an outdoor bar connected to the existing rear building, and an additional outdoor bar in the rear yard, which will both be covered by seasonal canopies. The application is deemed complete as of September 9, 2021.

The following are our comments and recommendations regarding this application:

**Zoning**

1. The property is located in the R-2 – Residential Zone. The existing VFW Lodge is an existing non-conforming use in the zone and the proposed improvements constitute an expansion of the existing non-conforming use.
2. The following bulk ('c') variances are required as part of this application:
  - a. A maximum lot coverage of 45% is permitted, whereas a coverage of 62.86% is proposed (62.44% exists).
  - b. A minimum rear yard setback of 5 feet is required, whereas a setback of 2 feet exists and is proposed to the rear shed.


Re: Boro File No. MSPB-R1690  
Amend. Site Plan – Manasquan VFW  
Block 43, Lot 4.01

September 9, 2021  
Sheet 2

- c. One accessory building is permitted, whereas two accessory buildings exist and are proposed.
3. The following non-conformities exist on Lot 4.01 and are not proposed to be modified as part of this application:
  - a. A minimum front yard setback of 25 feet is required, whereas a setback of 24.628.3 feet exists and is proposed.
4. The applicant should explain the use of the outdoor bar area, including hours of operation, dates of use of the seasonal canopy, and outdoor music or PA systems.
5. There is a sizeable seating area under the canopy area which should be explained to the Board. The seating capacity should also be discussed as relates to parking requirements and the existing number of spaces on site.
6. Any outdoor lighting for the bar area should be shown and lighting levels indicated.
7. Any additional proposed signage should be shown on the plans.
8. A drainage recharge system in accordance with the Borough's stormwater ordinance is not required as the proposed improvements do not increase the building footprint or impervious coverage by more than 500 square feet.
9. Grades have not been shown to demonstrate handicap accessibility however if no grading changes are proposed the existing grades appear sufficient to meet code requirements.
10. No trees are to be removed as part of the application.

Should you have any questions or desire any additional information, please do not hesitate to contact me.

Very truly yours,

  
ALBERT D. YODAKIS, P.E., P.P.  
PLANNING BOARD ENGINEER  
BOROUGH OF MANASQUAN

ADY:jy

cc: George McGill, esq., Planning Board Attorney  
Michael Henderson, esq.  
C. Keith Henderson & Associates, 52 Abe Voorhees Drive, Manasquan, NJ 08736



Re: Boro File No. MSPB-R1690  
Amend. Site Plan – Manasquan VFW  
Block 43, Lot 4.01

September 9, 2021  
Sheet 3

Ray Carpenter, PE, PP  
R.C. Associates, 2517 Route 35, Bldg J, Suite 102, Manasquan, NJ 08736  
Manasquan VFW Lodge 1838  
30 Ridge Avenue, Manasquan, NJ 08736

September 9, 2021  
Revised November 4, 2021

Mary Salerno, Secretary  
Manasquan Borough Planning Board  
201 East Main Street  
Manasquan, NJ 08736

Re: Boro File No. MSPB-R1690  
Amended Site Plan – Manasquan VFW Lodge 1838  
Block 43, Lot 4.01  
30 Ridge Avenue  
R-2 - Residential Zone  
Borough of Manasquan, Monmouth County, NJ

Dear Ms. Salerno:

As per your request, I have reviewed the above-referenced application in accordance with the provisions of the Borough Land Development Ordinance. The documents reviewed in conjunction with this application include:

1. Amended Site Plan prepared by Ray Carpenter, PE, of R.C. Associates, Inc., dated October 11, 2012, last revised October 25, 2021.
2. Architectural Layout prepared by Brian Collins, RA, dated March 24, 2021.
3. Plan of Survey prepared by Charles O'Malley, PLS, dated March 4, 2021.

The property is located in the R-2 - Residential Zone with frontage on Ridge Avenue. With this application, the applicant proposes to construct an outdoor bar connected to the existing rear building, and an additional outdoor bar in the rear yard, which will both be covered by seasonal canopies. The application was previously deemed complete on September 9, 2021.

The following are our comments and recommendations regarding this application:

### **Zoning**

1. The property is located in the R-2 – Residential Zone. The existing VFW Lodge is an existing non-conforming use in the zone and the proposed improvements constitute an expansion of the existing non-conforming use.
2. The following bulk ('c') variances are required as part of this application:
  - a. A maximum lot coverage of 45% is permitted, whereas a coverage of 59.56% is proposed (revised from 62.86%, 62.44% exists).
  - b. A minimum rear yard setback of 5 feet is required, whereas a setback of 2.5 feet exists and is proposed to the rear shed (the exact distance is now provided, "approximately 2 feet" previously indicated).




Re: Boro File No. MSPB-R1690  
 Amend. Site Plan – Manasquan VFW  
 Block 43, Lot 4.01

November 4, 2021  
 Sheet 2

- c. One accessory building is permitted, whereas two accessory buildings exist and are proposed.
  - d. A maximum accessory building of 600 square feet permitted, whereas a building of 649 square feet exists and is proposed (600 square feet previously indicated).
3. The following non-conformities exist on Lot 4.01 and are not proposed to be modified as part of this application:
  - a. A minimum front yard setback of 25 feet is required, whereas a setback of 24.8 feet exists and is proposed.
4. The applicant should explain the use of the outdoor bar area, including hours of operation, dates of use of the seasonal canopy, and outdoor music or PA systems.
5. There is a sizeable seating area under the canopy area which should be explained to the Board. The seating capacity should also be discussed as relates to parking requirements and the existing number of spaces on site.
6. Any outdoor lighting for the bar area should be shown and lighting levels indicated.
7. Any additional proposed signage should be shown on the plans.
8. A drainage recharge system in accordance with the Borough's stormwater ordinance is not required as the proposed improvements do not increase the building footprint or impervious coverage by more than 500 square feet. The previously required drainage recharge system appears to have been installed in general conformance with the previous Board approval however the pop up emitter could not be located and should either be installed or uncovered so the system may work properly.
9. Grades have not been shown to demonstrate handicap accessibility however if no grading changes are proposed the existing grades appear sufficient to meet code requirements.
10. If the application is approved, the plans should be modified to only show the proposed improvements as part of this application. Previously approved improvements which are not to be constructed should be removed from the plan.
11. No trees are to be removed as part of the application.

Should you have any questions or desire any additional information, please do not hesitate to contact me.

Very truly yours,

  
 \_\_\_\_\_  
 ALBERT D. YODAKIS, P.E., P.P.  
 PLANNING BOARD ENGINEER  
 BOROUGH OF MANASQUAN



Re: Boro File No. MSPB-R1690  
Amend. Site Plan – Manasquan VFW  
Block 43, Lot 4.01

November 4, 2021  
Sheet 3

ADY:jy

cc: George McGill, esq., Planning Board Attorney  
Michael Henderson, esq.  
C. Keith Henderson & Associates, 52 Abe Voorhees Drive, Manasquan, NJ 08736  
Ray Carpenter, PE, PP  
R.C. Associates, 2517 Route 35, Bldg J, Suite 102, Manasquan, NJ 08736  
Manasquan VFW Lodge 1838  
30 Ridge Avenue, Manasquan, NJ 08736



**PLANNING BOARD APPLICATION  
MANASQUAN, NEW JERSEY**

**I. APPLICANT:** Manasquan VFW Lodge 1838

Address: 30 Ridge Ave, Manasquan, NJ 08736

Phone: 732-962-8566

**Property Address: 30 Ridge Ave  
Block 43, Lot 4.01, Zone R-2  
Manasquan, New Jersey 08736**

**II. TYPE OF APPLICATION:** Preliminary and Final Minor Site Plan Approval with a Use Variance and Bulk Variances

Section 35-18.3 Planning Board approval required for proposed Minor Site Plan Approval

	<b>REQUIRED</b>	<b>EXISTING</b>	<b>PROPOSED</b>
Lot Frontage	50 ft	150 ft	150 ft
Lot Area	5,000 sq ft	22,860 SF	22, 860 SF
Front Setback	25ft	24.62 ft *	24.62 ft * Existing Non-Conformity
Side Yard Setback	5/10 ft	46.53 ft & 59.07 ft	46.53 ft & 59.07 ft
Rear Setback	20 ft	86.61 ft	86.61 ft
Max Height	35 ft	<35 ft	<35 ft
Max No. Stories	2.5	1 Story	1 Story
Building Coverage	30%	9.33%	13.28%
Lot Coverage	45%	62.44%*	62.86%**

Accessory Building:35-5.2b (Garage)	<b>REQUIRED</b>	<b>EXISTING</b>	<b>PROPOSED</b>
Bldg Area	600 sq ft	600 SF*	600 SF*
Side Yard Setback	5 ft	5 ft	5 ft
Rear Setback	5 ft	30 ft	30 ft
Max Height	15 ft	15 ft	15 ft

Accessory Building:35-5.2b (Shed 16x6)	REQUIRED	EXISTING	PROPOSED
Bldg Area	100 SF	N/A	96 SF**
Side Yard Setback	5 ft	N/A	±47 ft
Rear Setback	5 ft	N/A	±2 ft**
Max Height	10 ft	N/A	<15 ft

\*\*Indicates a need for a variance

\* Indicates existing non-conformity (previously approved)

### III. SITE INFORMATION:

Street Address: 30 Ridge Ave

Block 43, Lot 4.01

Zoning Districts: R-2

Present Use: Social Club

Proposed Use: Social Club

Permitted Use: One Single Family dwelling

### VI. ZONE REQUIREMENTS: R-2 Zone

Min. Lot Area: 5,000 sq ft

Min Lot Frontage: 50 ft

Front Yard Setback: 25 ft

Side Setback: 5/10 ft

Rear Setback: 20 ft

Max. Bldg. Height: 35 ft

Max Stories: 2 ½

Max. Bldg. Coverage: 30%

Max. Lot Coverage: 45%

**V. MISCELLANEOUS:**

- 1. Is the Applicant the Landowner? Yes
- 2. Does the Applicant own any adjoining land? No
- 3. Are the property taxes paid to date? Yes
- 4. Have there been any previous applications to the Planning Board or Board of Adjustment concerning this property? Yes
- 5. Are there any deed restrictions, easements or covenants affecting the property? Applicant will submit upon request.

**VI. COMMENT:**

Applicant seeks to legalize an existing non-conforming use for a social club on the property along with the construction of a covered outdoor bar area attached to the existing detached garage and a covered patio in the rear yard.

The Applicant agrees to be responsible for and pay the costs entailed in the review of this application by any experts retained by the Planning Board for advice in this matter, if necessary.

8/27/21  
Date

  
MICHAEL D. HENDERSON, ESQ  
Attorney for Applicant

BOROUGH HALL  
201 EAST MAIN STREET

Incorporated December 30, 1887

732-223-0544  
Fax 732-223-1300

EDWARD G. DONOVAN  
Mayor

CONSTRUCTION DEPARTMENT

FRANK F. DiROMA  
Supervisor of Code Enforcement

THOMAS F. FLARITY  
Municipal Administrator

**BOROUGH OF MANASQUAN**  
COUNTY OF MONMOUTH  
NEW JERSEY 08736

STEVEN J. WINTERS  
Construction Official

October 14, 2020

Manasquan VFW Lodge 1838  
30 Ridge Avenue  
Manasquan, NJ 08736

Re: Block: 43 Lot: 4.01 Zone: R-2

Dear Sir or Madam:

On this date we reviewed your application for the following project.

Construction of a covered outdoor bar area attached to the existing detached garage and a covered patio area in the rear yard.

Amended Site plan prepared by Ray Carpenter on October 7, 2020

**Application denied for the following reason(s):**

Section 35-18.3 – Planning Board approval required for the proposed project.

Section 35-5.3 – R-2 Zone – Permitted Use – Only one single family dwelling permitted.  
Social club existing

Section 35-9.4 – Front Setback – 25ft. Required  
24.62ft. Existing

Section 35-9.4 – Lot Coverage – 45% Permitted  
59.81% Existing  
78.6% Proposed

Section 35-5.2b – Accessory Building – 600s.f. Permitted  
2,615s.f. Proposed (garage, bar area, patio)

“ - “ (Bar) – Side Setback (Left) – 5ft. Required  
3ft. Existing

Section 35-5.2b – Accessory Building (shed) – Only one shed permitted per property  
Two sheds existing

“ - “ - 100s.f. Permitted  
144s.f. Existing

“ - “ - Rear Setback – 5ft. Required  
2ft. Existing

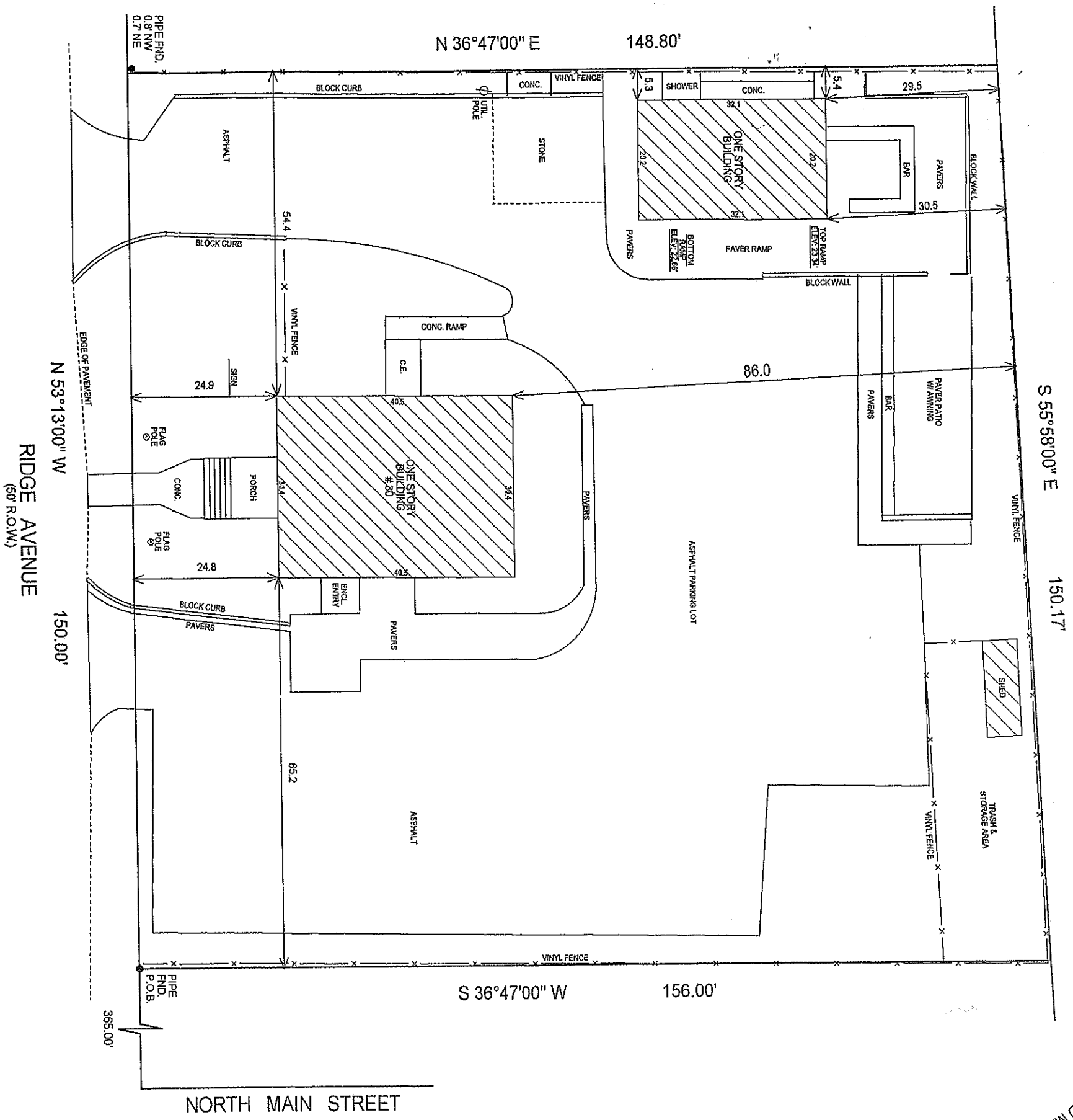
Section 35-13.3 – On site Parking – 1 Space / 200sf. Required  
23 Spaces Required  
15 Spaces Existing

If you have any questions, please call me at 732-223-0544, ext. 256

Sincerely,



Richard Furey  
Zoning/Code Enforcement Officer



**SURVEY NOTES:**  
 ALL ELEVATIONS NAVD 1988

THIS SURVEY CERTIFIED TO:  
 MANASQUAN VFW POST 1838

BEING KNOWN AS LOTS 46, 47 & 48 ON A MAP ENTITLED "PLAN OF THE HIGGINS TRACT, BOROUGH OF MANASQUAN, MONMOUTH CO." FILED IN THE MONMOUTH COUNTY CLERK'S OFFICE APRIL 1, 1910 AS CASE NO. 13-20.

This survey subject to any easement of record and other pertinent facts which an accurate title search might disclose. Any subsurface easements, if any, not visible are not located by this survey. Due to certain weather conditions, i.e., ice, and/or snow and/or the overgrown vegetation on the property, interior sidewalks and/or patios may not be shown on the plat. No liability is assumed by the certifying surveyor for the use by any party not shown in the certification. The work product of the surveyor constitutes an opinion of the land surveyor as to the nature and quality of the property surveyed. Moreover, that certification does not constitute a warranty, either expressed or implied as to the absolute correctness of the information presented in such survey.

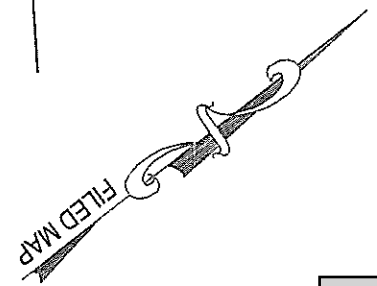
*Charles O'Malley*  
**CHARLES O'MALLEY, P.L.S.**

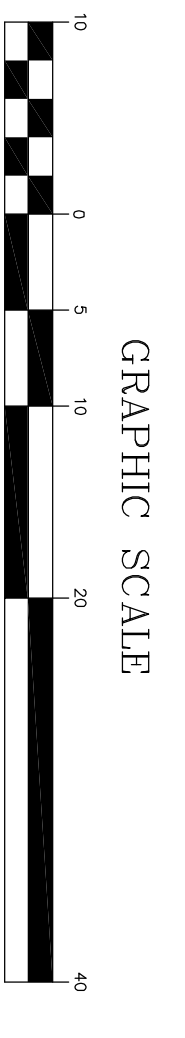
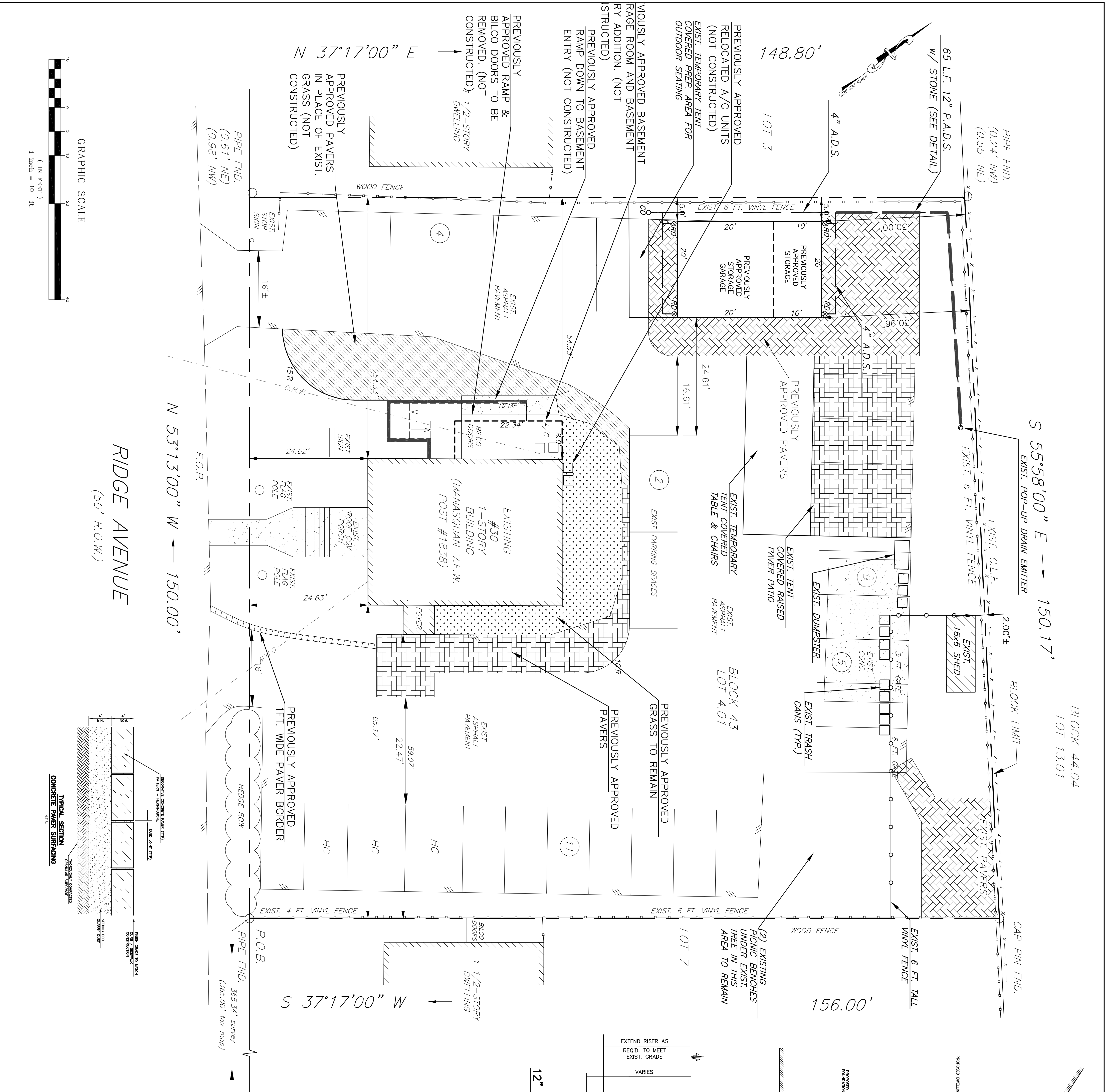
**CHARLES O'MALLEY, PLS, LLC**  
 Professional Land Surveyor  
 New Jersey Lic. No. 24GS03487100  
 908 Riverview Drive  
 Brielle, New Jersey 08730  
 (732) 223-3141

**PLAN OF SURVEY**

LOT 4.01 BLOCK 43  
 BOROUGH OF MANASQUAN  
 MONMOUTH COUNTY  
 NEW JERSEY

Drawn By clom	Chkd By C.O.M.	File No. 13-133558	Date 3/4/21	Scale 1" = 20'
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# RIDGE AVENUE

(50' R.O.W.)

N 53°13'00" W → 150.00'

# NORTH MAIN STREET

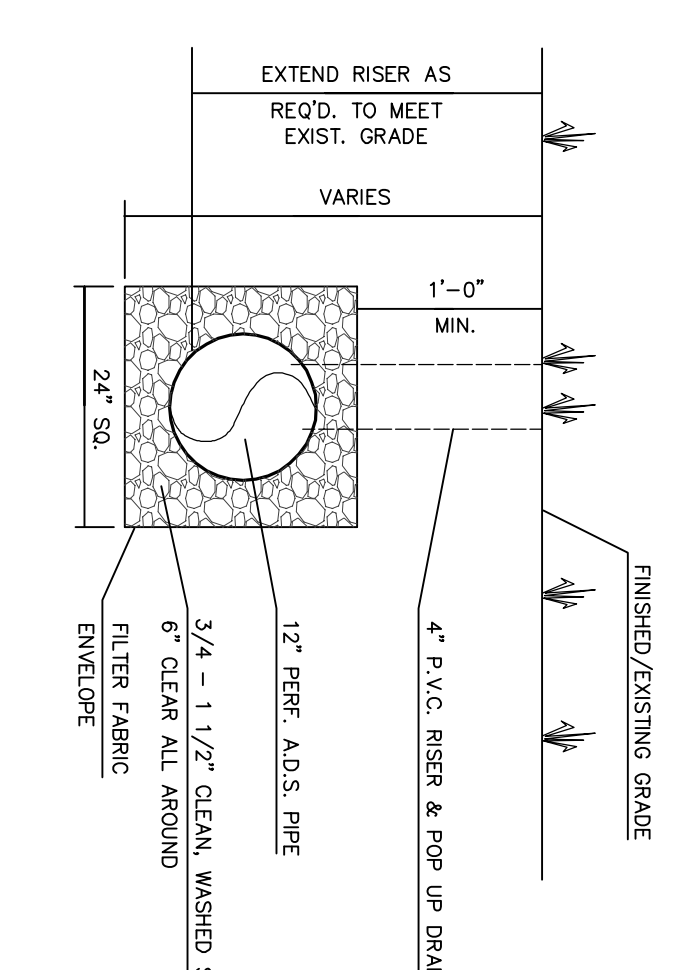
(45' R.O.W.)

S 37°17'00" W

N 37°17'00" E

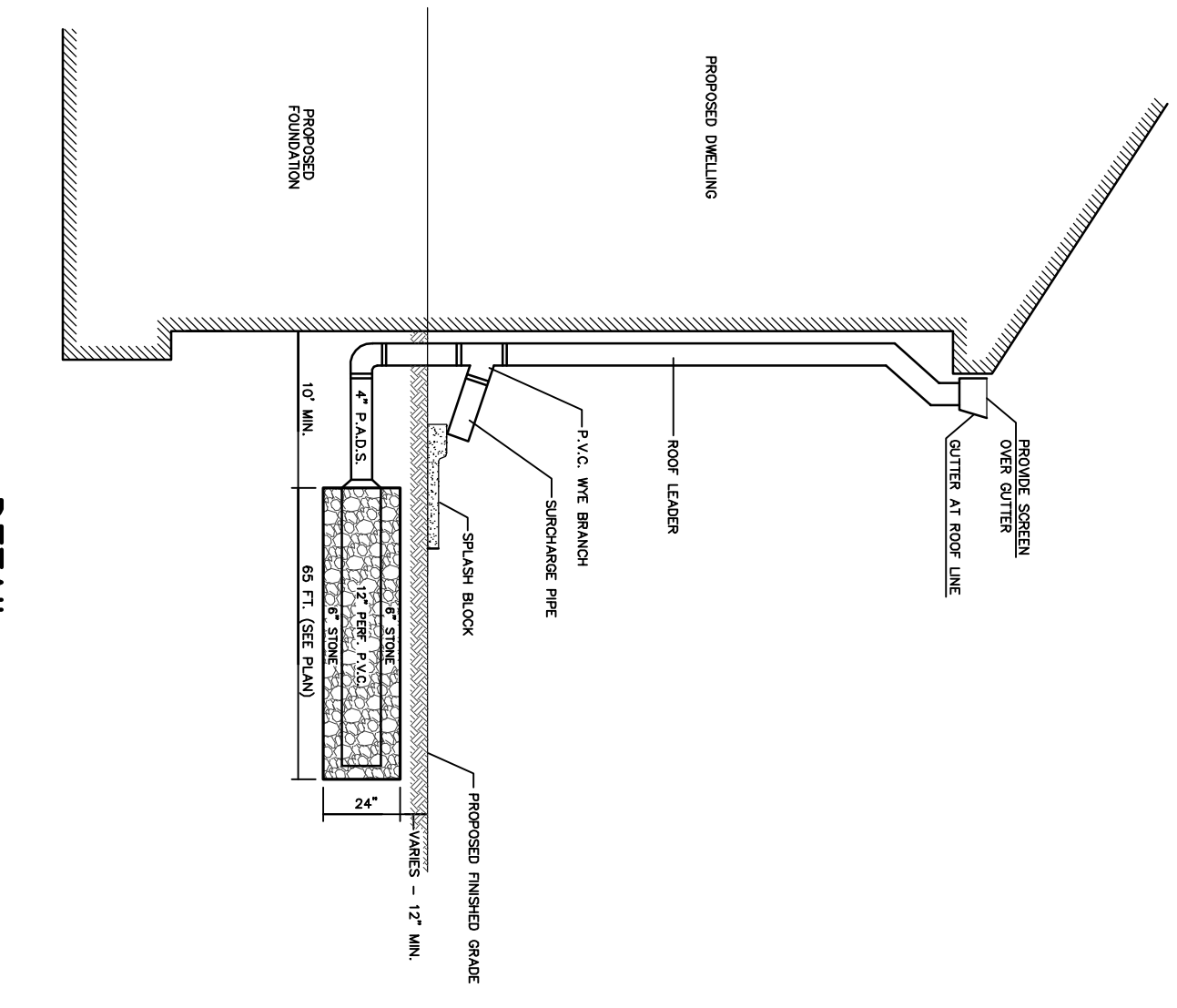
## 12" A.D.S. RECHARGE

NOT TO SCALE



## DETAIL: ROOF LEADER TO RECHARGE PIT

NOT TO SCALE



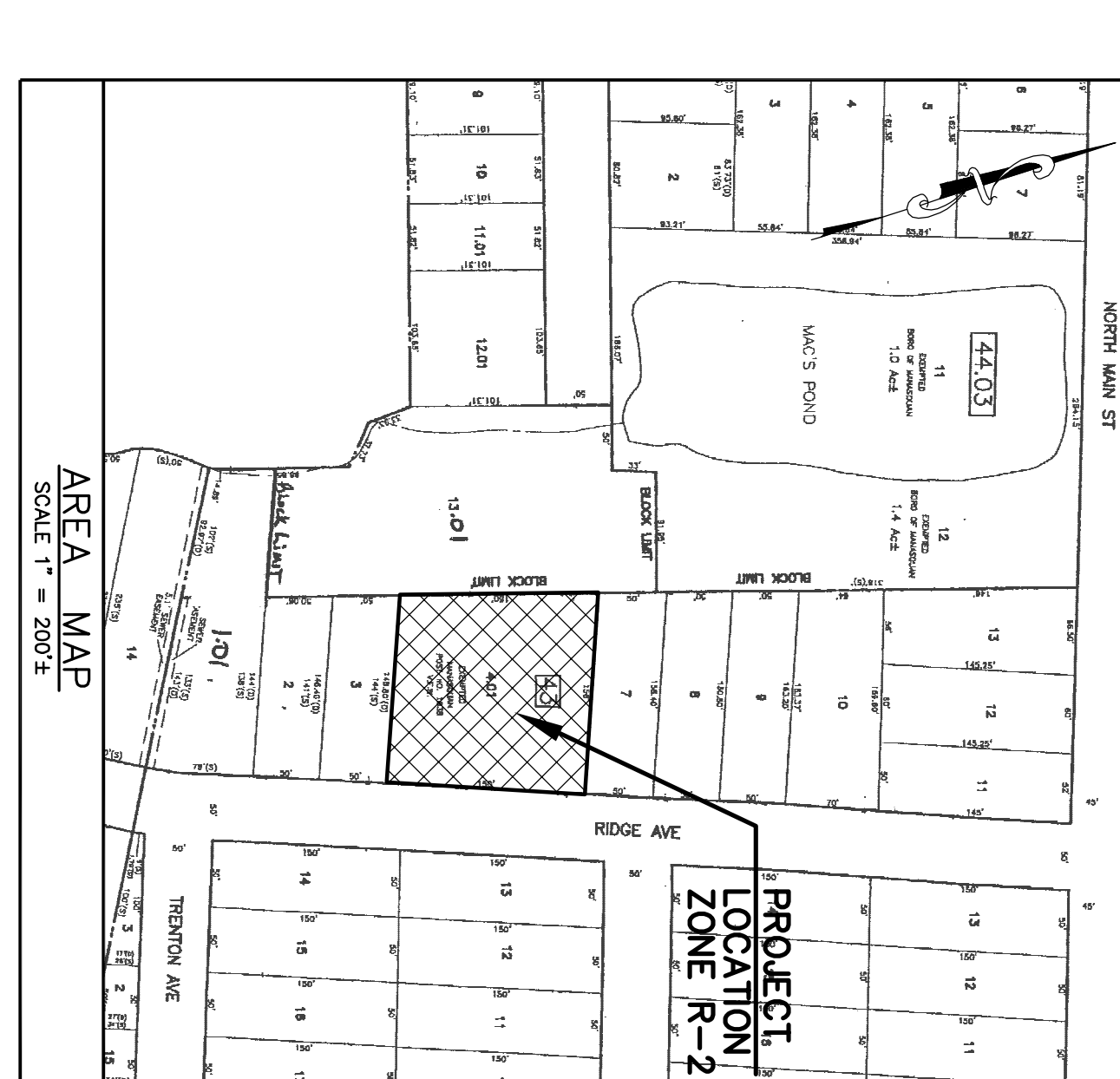
\*\*\* - INDICATES PREVIOUSLY GRANTED APPROVAL FOR 62.87% VIA RESOLUTION # 21-2013  
 \*\*\* - INDICATES PREVIOUSLY GRANTED APPROVAL FOR 62.87% VIA RESOLUTION # 21-2013  
 - GRADES SHOWN BASED ON NAVD 88 DATUM  
 - PROPERTY SHALL BE SERVICED BY EXISTING PUBLIC SEWER AND WATER SERVICES  
 - EXISTING CURB SHALL BE REPLACED AS DETERMINED BY THE ZONING OFFICER  
 TOPOGRAPHIC & BOUNDARY INFORMATION TAKEN FROM A MAP PREPARED BY AGEE SURVEYING CO. INC., PROFESSIONAL LAND SURVEYORS, DATED 3/27/12.

DESCRIPTION	REQUIRED/PERMITTED	EXISTING
BUILDING USE	RESIDENTIAL	SOCIAL CLUB
LOT AREA	5,000 S.F.	22,860 S.F.
MIN. LOT FRONTAGE	50 FT.	150.0 FT.
FRONT YARD SETBACK	25 FT.	** 24.62 FT.
5 & 10 FT.	46.53 & 59.07 FT.	46.53 & 59.07 FT.
REAR YARD SETBACK	20 FT.	86.61 FT.
MAX. BUILDING COVERAGE	30% (9,658 SF)	9.33% (2,133 SF)
MAX. LOT COVERAGE	45% (10,287 SF)	** 62.44% (14,274 SF)
MAX. BLDG. HEIGHT	35 FT. (2.5 STY)	1 STORY
(GARAGE) ACCESS, BLDG. SIDE S.B.	5 FT.	5 FT.
(GARAGE) ACCESS, BLDG. REAR S.B.	15 FT.	30 FT.
(GARAGE) ACCESS, BLDG. HEIGHT	15 FT.	15 FT.
(GARAGE) ACCESS, BLDG. AREA	600 S.F.	* 600 S.F.
(GARAGE) ACCESS, BLDG. SIDE S.B.	5 FT.	* 4.47 FT.
(GARAGE) ACCESS, BLDG. REAR S.B.	5 FT.	** 4.42 FT.
(GARAGE) ACCESS, BLDG. HEIGHT	10 FT.	< 10 FT.
(GARAGE) ACCESS, BLDG. AREA	100 S.F.	96 S.F.
MAX. # OF SHEDS	N/A	N/A
MAX. # OF SHEDS	1 SHED	1 SHED
PARKING (1/200 S.F.)	8 SPACES	24 SPACES

**EXIST. LOT COVERAGES**  
 EXIST. BLDG./COVERED PORCH 1,354 S.F.  
 EXIST. FRONT STEPS & WALK 140 S.F.  
 EXIST. GARAGE 600 S.F.  
 EXIST. ASPHALT PARKING LOT 11,784 S.F.  
 EXIST. SHED OPTION 96 S.F.  
 EXIST. ASPHALT DRIVE 11,794 S.F.  
 PROP. RAMP WALL AROUND RAMP 174 S.F.  
 TOTAL EXIST. LOT COVERAGES 14,274 S.F.

**PREVIOUSLY APPROVED COVERAGES**  
 EXIST. BLDG./COVERED PORCH 1,354 S.F.  
 EXIST. FRONT STEPS & WALK 140 S.F.  
 EXIST. A/C UNITS 10 S.F.  
 EXIST. MODIFIED PAVED PARKING LOT 11,784 S.F.  
 PROP. RAMP WALL AROUND RAMP 174 S.F.  
 TOTAL PROP. LOT COVERAGES 14,274 S.F.

**REMOVED REFERENCE TO SHED THAT WAS REMOVED FROM SITE**  
 7/26/21 - REVISED PER OWNER  
 7/20/21 - REVISED PER OWNER  
 7/13/16 - REVISED PER OWNER  
 10/7/13 - REVISED PER ZONING BOARD MEETING COMMENTS.  
 9/17/13 - REVISED PER ZONING BOARD MEETING COMMENTS.



**MANASQUAN V.F.W. PRELIMINARY & FINAL SITE PLAN**  
**AMENDED SITE PLAN**  
 BLOCK 43 - LOT 4.01  
 BOROUGH OF MANASQUAN, MONMOUTH COUNTY, N.J.

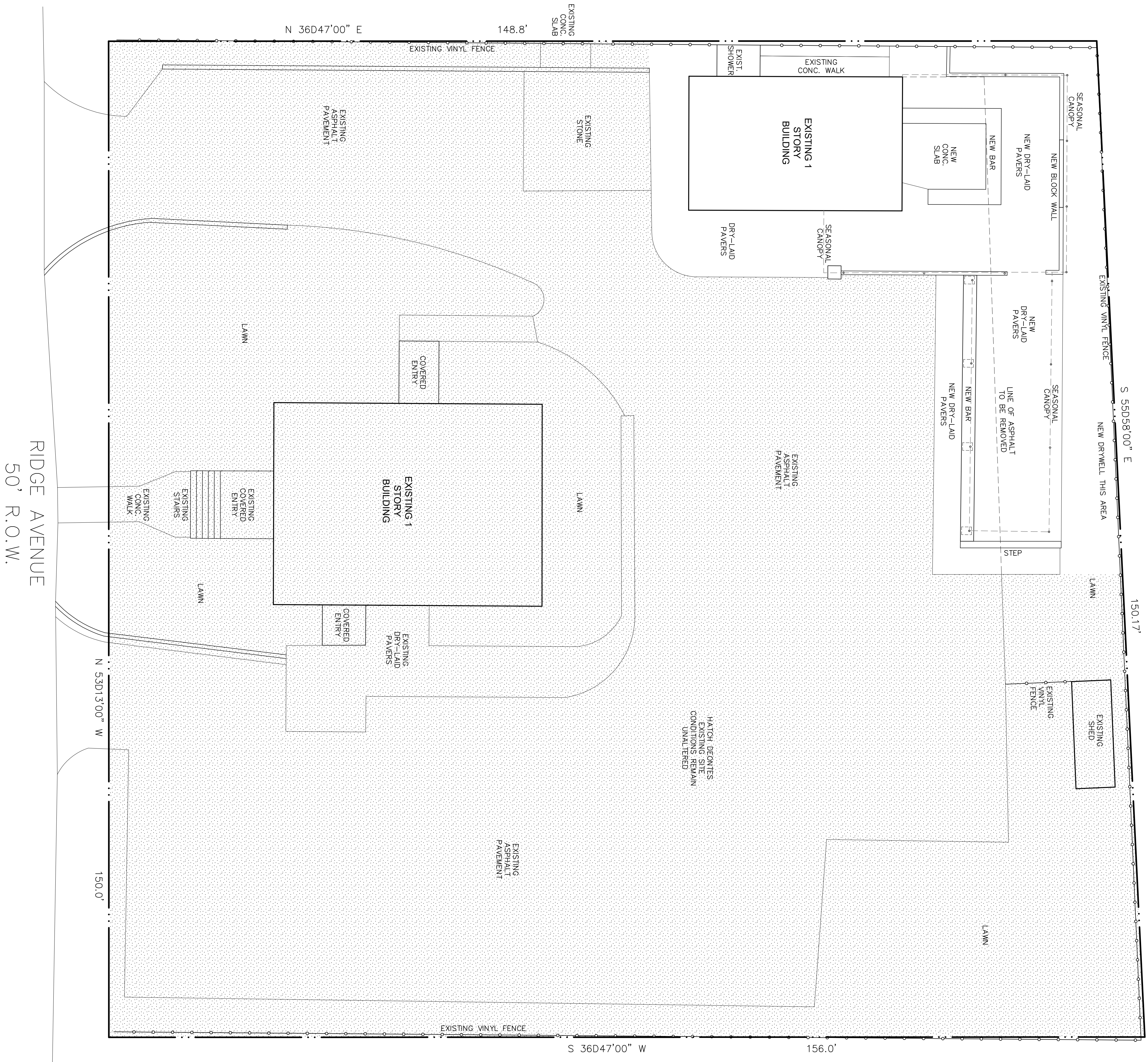
**R.C. ASSOCIATES Consulting, Inc.**  
 Valley Park Professional Center  
 2517 Route 35 Building J Suite 102  
 Manasquan, New Jersey, 08926  
 Ph. 732-528-0141 • Fax 732-528-1060

**RAY CARPENTER P.E.**  
 PROFESSIONAL ENGINEER, N.J. Lic. No. G623223

DATE: 10/11/12  
 DWN BY: AAO  
 SCALE: AS SHOWN  
 JOB #: 2012.180  
 SHEET: 1 OF 1

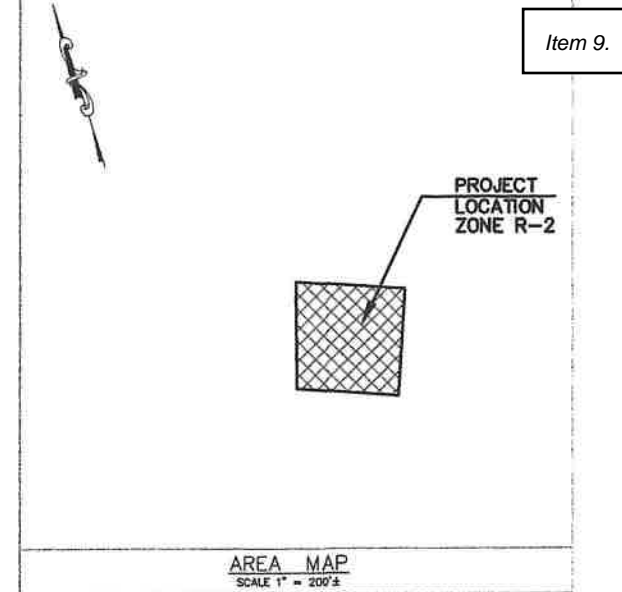
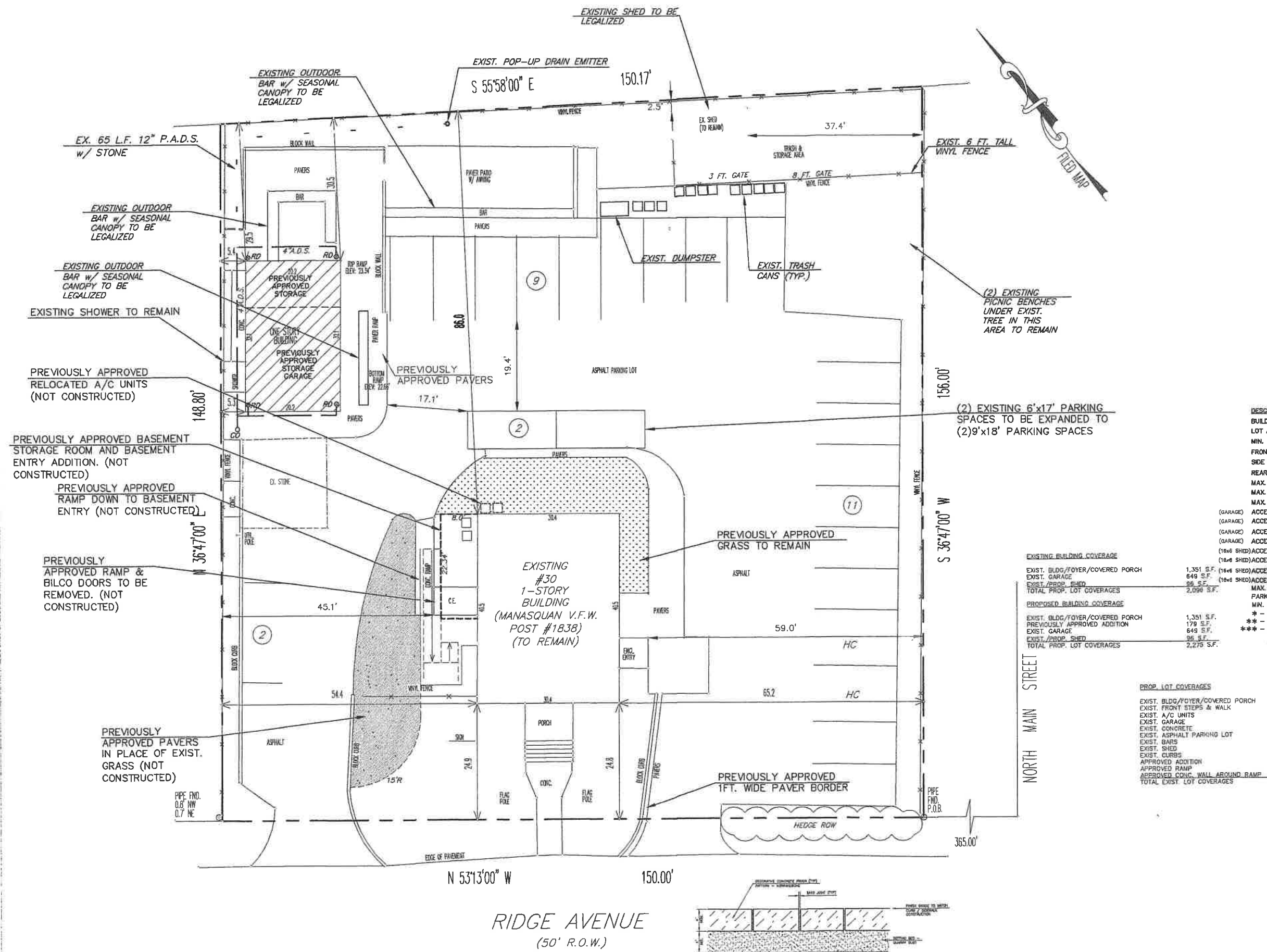
ZONING CRITERIA			
ZONE: R2	BASED ON SURVEY BY CHARLES CHALLETY DATED 3/17/2011		
LOT: 43			
BLOCK: 401			
LOT REQUIREMENTS:			
MIN. LOT AREA:	REQUIRED	EXISTING	PROPOSED
MIN. LOT WIDTH:	5,000 SF	22,993 SF	NC
	50'	150'	NC
COVERAGE			
PRINCIPAL BUILDING	30% (6,951 SF)	51% (12,010 SF)	NC
PERVIOUS	45% (10,281 SF)	64.15% (14,668 SF)	61% (13,564 SF)

1/8" = 1'-0"  
SITE SKETCH



REVISIONS:  DRAWN BY: bmc CORR: DATE: 3/24/2011	BRIAN M. COLLIS ARCHITECTURE 120 JOLT STREET BRICK, NEW JERSEY 08724 TEL: 848-469-1864	BRIAN M. COLLIS  N.J. LIC. NO. 21A10134600	SITE IMPROVEMENTS AT YFU POST 1838 30 RIDGE AVENUE LOT: 401 BLOCK: 43 BOROUGH OF MANASQUAN, MONMOUTH COUNTY, NEW JERSEY	





**GENERAL NOTES**

PROPERTY ID KNOWN AS BLOCK 43 LOT 4.01 AS SHOWN ON SHEET 7 OF THE OFFICIAL TAX MAPS OF THE BOROUGH OF MANASQUAN, MONMOUTH COUNTY, NEW JERSEY.

PROPERTY IS LOCATED IN THE R-2 RESIDENTIAL ZONE AND CONTAINS A TOTAL OF 0.5248± ACRES.

APPLICANT: MANASQUAN V.F.W. POST No. 1838  
30 RIDGE AVENUE  
MANASQUAN N.J.

APPLICANT PROPOSES TO CONSTRUCT A SHED & COVERED PATIO AREA

DESCRIPTION	REQUIRED/PERMITTED	PREVIOUSLY APPROVED	PROPOSED
BUILDING USE	RESIDENTIAL	SOCIAL CLUB	SOCIAL CLUB
LOT AREA	5,000 S.F.	22,880 S.F.	22,860 S.F.
MIN. LOT FRONTAGE	50 FT.	150.0 FT.	150.0 FT.
FRONT YARD SETBACK	25 FT.	** 24.62 FT.	** 24.8 FT.
SIDE YARD SETBACK	5 & 10 FT.	46.53 & 59.07 FT.	45.1 & 59 FT.
REAR YARD SETBACK	20 FT.	86.61 FT.	88 FT.
MAX. BUILDING COVERAGE	30 % (8,658 S.F.)	9.33 % (2,133 SF)	9.85 % (2,275 S.F.)
MAX. LOT COVERAGE	45 % (10,287 S.F.)	** 52.44% (14,274 SF)	59.56 % (13,616.50 SF)
MAX. BLDG. HEIGHT	35 FT. (2.5 STORY)	< 35 FT. (1 STORY)	< 35 FT. (1 STORY)
(GARAGE) ACCESS. BLDG. SIDE S.B.	5 FT.	5 FT.	5.3 FT.
(GARAGE) ACCESS. BLDG. REAR S.B.	5 FT.	30 FT.	29.5 FT.
(GARAGE) ACCESS. BLDG. HEIGHT	15 FT.	15 FT.	15 FT.
(GARAGE) ACCESS. BLDG. AREA	600 S.F.	*600 S.F.	***649 S.F.
(16x6 SHED)ACCESS. BLDG. SIDE S.B.	5 FT.	N/A	37.4 FT.
(16x6 SHED)ACCESS. BLDG. REAR S.B.	5 FT.	N/A	***2.5 FT.
(16x6 SHED)ACCESS. BLDG. HEIGHT	10 FT.	N/A	< 10 FT.
(16x6 SHED)ACCESS. BLDG. AREA	100 S.F.	N/A	98 S.F.
MAX. # OF ACCESSORY BLDGS.	1 BUILDING	1 BUILDING	***2 BUILDINGS
PARKING (1/200 S.F.)	8 SPACES	24 SPACES	24 SPACES
MIN. SHOWER SETBACK	5 FT.	N/A	***0.8 FT.

\* - INDICATES GRANTED VIA RESOLUTION # 21-2013  
 \*\* - INDICATES PREVIOUSLY GRANTED APPROVAL FOR 92.67 % VIA RESOLUTION # 21-2013  
 \*\*\* - INDICATES NEW VARIANCE REQUIRED  
 - GRADES SHOWN BASED ON NAVD 88 DATUM.  
 - PROPERTY SHALL BE SERVICED BY EXISTING PUBLIC SEWER AND WATER SERVICES  
 - EXISTING CURB SHALL BE REPLACED AS DETERMINED BY THE ZONING OFFICER

**EXISTING BUILDING COVERAGE**

EXIST. BLDG./FOYER/COVERED PORCH	1,351 S.F.
EXIST. GARAGE	649 S.F.
EXIST./PROP. SHED	95 S.F.
TOTAL PROP. LOT COVERAGES	2,095 S.F.

**PROPOSED BUILDING COVERAGE**

EXIST. BLDG./FOYER/COVERED PORCH	1,351 S.F.
PREVIOUSLY APPROVED ADDITION	179 S.F.
EXIST. GARAGE	649 S.F.
EXIST./PROP. SHED	95 S.F.
TOTAL PROP. LOT COVERAGES	2,275 S.F.

**PROP. LOT COVERAGES**

EXIST. BLDG./FOYER/COVERED PORCH	1,354 S.F.	EXIST. BLDG./FOYER/COVERED PORCH	1,354 S.F.
EXIST. FRONT STEPS & WALK	10 S.F.	EXIST. FRONT STEPS & WALK	140 S.F.
EXIST. A/C UNITS	649 S.F.	EXIST. A/C UNITS	10 S.F.
EXIST. CONCRETE	86 S.F.	EXIST. GARAGE	600 S.F.
EXIST. ASPHALT PARKING LOT	10,008 S.F.	MODIFIED PAVED PARKING LOT	11,784 S.F.
EXIST. BARS	216 S.F.	PROP. ADDITION	179 S.F.
EXIST. SHED	95 S.F.	PROP. RAMP	174 S.F.
EXIST. CURBS	77 S.F.	PROP. CONC. WALL AROUND RAMP	33 S.F.
APPROVED ADDITION	179 S.F.	TOTAL PROP. LOT COVERAGES	14,274 S.F.
APPROVED RAMP	174 S.F.		
APPROVED CONC. WALL AROUND RAMP	33 S.F.		
TOTAL EXIST. LOT COVERAGES	13,616.50 S.F.		

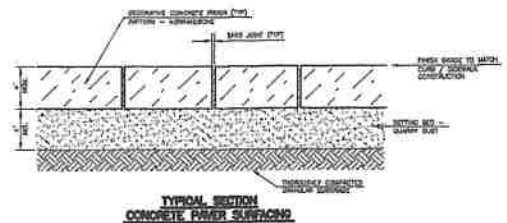
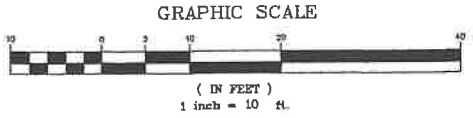
10/25/21 - REVISED TO SHOW UPDATED FIELD CONDITIONS  
 7/28/21 - REVISED SHED PER OWNER  
 7/20/21 - REMOVED REFERENCE TO SHED THAT WAS REMOVED FROM SITE.  
 10/7/20 - REVISED PER OWNER  
 7/13/16 - REVISED PER OWNER  
 10/7/13 - REVISED PER ZONING REVIEW DATED 5-25-13.  
 9/11/13 - REVISED PER OWNER.  
 8/1/13 - REVISED PER ZONING BOARD MEETING COMMENTS.

**MANASQUAN V.F.W. PRELIMINARY & FINAL SITE PLAN**  
**AMENDED SITE PLAN**  
 BLOCK 43 - LOT 4.01  
 BOROUGH OF MANASQUAN, MONMOUTH COUNTY, N.J.

**R.C. ASSOCIATES Consulting, Inc.**  
 Valley Park Professional Center  
 2517 Route 35 Building J Suite 102  
 Manasquan, New Jersey, 08738  
 Ph. 732-528-0141 • Fax 732-528-1060

**RAY CARPENTER P.E.**  
 PROFESSIONAL ENGINEER, N.J. Lic. No. GE23223

C.A. #24G28108900  
 DRN BY: ACAD  
 DATE: 10/11/21  
 SCALE: AS SHOWN  
 JOB #: 2012.180  
 SHEET: 1 OF 1



RECEIVED OCT 26 2021

B.O.M. RECEIVED  
M&G \_\_\_\_\_ ADM \_\_\_\_\_  
CLERK \_\_\_\_\_ CFO \_\_\_\_\_

FEB 07 2022

DPW \_\_\_\_\_ CONST \_\_\_\_\_  
PD \_\_\_\_\_ OTHER \_\_\_\_\_

February 4, 2022

Mary Salerno, Secretary  
Manasquan Borough Planning Board  
201 East Main Street  
Manasquan, NJ 08736

Re: Boro File No. MSPB-R1810  
Variance – Lupinski  
Block 157, Lot 4.03  
13½ Ocean Avenue  
R-2 Single-Family Residential Zone  
Borough of Manasquan, Monmouth County, NJ

Dear Ms. Salerno:

As per your request, I have reviewed the above-referenced application in accordance with the provisions of the Borough Land Development Ordinance. The documents reviewed in conjunction with this application include:

1. Survey of Property prepared by Steven Edwards, PLS, of Edwards Surveying, dated July 17, 2021.
2. Plot Plan prepared by Matthew Hockenbury, PE, of MCH Engineering, Inc., dated January 5, 2021, last revised January 17, 2022.
3. Architectural Floorplans and Elevation, prepared by Brian Berzinskis, RA, of the Grasso Design Group, dated January 3, 2022.

The property is located in the R-2 Single-Family Residential Zone. The property does not front on an improved road but has easement access to Ocean Avenue between 13 and 15 Ocean Avenue. With this application, the applicant proposes to construct a new, raised two story dwelling, with a garage and storage area on the ground level, and associated site improvements. The application is deemed complete as of February 4, 2022.

The following are our comments and recommendations regarding this application:

1. The property is located in the R-2 Single Family Residential Zone. The existing and proposed residential use is permitted.
2. The following bulk ('c') variances are required as part of this application:
  - a. A maximum building coverage of 30% is permitted, whereas a building coverage of 35.43% is proposed (16.9% exists).

Re: Boro File No. MSPB-R1810  
Variance – Lupinski  
Block 157, Lot 4.03

February 4, 2022  
Sheet 2

- b. A minimum front yard setback of 25 feet is required, whereas a setback of 10.6 feet is proposed to the covered front porch (18.2 feet exists).
    - c. A minimum rear yard setback of 20 feet is required, whereas a setback of 7.7 feet is proposed (1.6 feet exists).
  3. The following non-conformities exist on Lot 4.03 and are not proposed to be modified as part of this application:
    - a. A minimum lot area of 5,000 square feet is required, whereas an area of 2,385 square feet exists and is proposed.
    - b. A minimum lot frontage of 50 feet is required, whereas a frontage of 0 feet exists and is proposed.
  4. The applicant proposes the first floor elevation of the dwelling at elevation 15.0 where the current base flood elevation is 9 feet. The proposed building height is 33 feet as measured from the top of curb on Ocean Avenue.
  5. The applicant has provided deed and easement information from the County Clerk's office regarding the creation of the subject lot by subdivision in 1985, and the existing access and utility easement over adjacent Lots 4.01 and 4.02.
  6. The minimum two conforming parking spaces are provided, one in the garage and one in front of the proposed dwelling.
  7. A drainage recharge system in accordance with the Borough's stormwater ordinance is proposed in both side yard areas. Connections from the roof drains should be shown on the plan. Slotted covers should be provided for the gutter overflows.
  8. The proposed air conditioning units are to be located in the easterly side yard but outside of the required 5 feet side yard setback.
  9. The lot is proposed to be stabilizing with decorative stone.
  10. The applicant should comment on the location of the existing and proposed water and sewer connections for the dwelling. If the lot is not serviced by separate water and sewer services, new service lines must be installed.
  11. It appears that the required 80 square feet of enclosed storage space is provided in the ground level storage and garage floor areas.
  12. A landscaping plan for the front yard area must be provided. It does not appear that any trees will be removed as part of this application.
  13. Any new utilities should be located underground if possible.
  14. Any curb and sidewalk must be replaced along Ocean Avenue and as necessary.



Re: Boro File No. MSPB-R1810  
Variance – Lupinski  
Block 157, Lot 4.03

February 4, 2022  
Sheet 3

Should you have any questions or desire any additional information, please do not hesitate to contact me.

Very truly yours,



ALBERT D. YODAKIS, P.E., P.P.  
MANASQUAN PLANNING BOARD  
ENGINEER

ADY:jy

cc: George McGill, esq., Planning Board Attorney  
Matthew Hockenbury, PE  
MCH Engineering, Inc., 1010 Commons Way, Bldg G, Toms River, NJ 08755  
Brian Berzinskis, AIA  
Grasso Design Group, 231 Highway 71, Manasquan, NJ 08736  
Thomas Bateman  
43 Pearce Court, Manasquan, NJ 08736

BOROUGH HALL  
201 EAST MAIN STREET

EDWARD G. DONOVAN  
Mayor

THOMAS F. FLARITY  
Municipal Administrator

Incorporated December 30, 1887



732-223-054  
Fax 732-223-1300

FRANK F. DiROMA  
Supervisor of Code Enforcement

STEVEN J. WINTERS  
Construction Official

Item 10.

January 24, 2022

Thomas Bateman  
43 Pearce Court  
Manasquan, NJ 08736

Re: Block: 157 Lot: 4.03 Zone: R-2 Flood Zone: AE BFE: 9ft. DFE: 10ft.  
13 ½ Ocean Avenue

Dear Sir:

On this date we reviewed your application for the following project.

Remove the existing single family dwelling and construct a new two story single family dwelling.

Plot plan prepared by Matthew Hockenbury on January 5, 2022. Conceptual plans prepared by Brian Berzinskis on January 3, 2022.

**Application denied for the following reason(s):**

- Section 35-9.4 - Lot Frontage – 50ft. Required  
.0ft. Existing
- “ - Lot Area – 5,000s.f. Required  
2,385s.f. Existing
- “ - Front Setback – 25ft. Required  
10.6ft. Proposed
- “ - Rear Setback – 20ft. Required  
7.7ft. Proposed
- “ - Building Coverage – 30% Permitted  
36.2% Proposed

If you have any questions, please call me at 732-223-0544, ext. 256

Sincerely,

A handwritten signature in black ink, appearing to read "R. Furey". The signature is written in a cursive style with a large, stylized "F".

Richard Furey  
Zoning/Code Enforcement Officer

BOF HALL  
201 EA' N STREET

Incorporated December 30, 1887

732-223-054  
Fax 732-223-1300

EDWARD G. DONOVAN  
Mayor

CONSTRUCTION DEPARTMENT

FRANK F. DIROMA  
Supervisor of Code Enforcement

THOMAS F. FLARITY  
Municipal Administrator

BOROUGH OF MANASQUAN  
COUNTY OF MONMOUTH  
NEW JERSEY 08736

STEVEN J. WINTERS  
Construction Official



APPLICATION TO THE PLANNING BOARD

- \*Applicant's Name: MARIE LUPINSKE
- \*Applicant's Address: 13 OCEAN AVENUE MANASQUAN, NJ 08736
- \*Telephone Number: Home: \_\_\_\_\_ Cell: 201-921-8662
- \*e-mail Address: m.lupinske@yahoo.com
- \*Property Location: 13 1/2 OCEAN AVENUE MANASQUAN, NJ 08736
- \*Block: 157 Lot: 4.03
- \*Type of Application: BULK VARIANCE  
Bulk Variance, Non-Permitted Use- Conditional Use- Subdivision- Minor Subdivision- Major- Site Plan Approval
- \*Date of Zoning Officer's Denial Letter: 24 JANUARY 2022  
Attach Zoning Permit Application
- \*Plot Plan (Survey) not older than five (5) years, clearly indicating all buildings and setbacks.
- \*Is the Applicant the Landowner? YES
- \*Does the Applicant own any adjoining land? YES 13 OCEAN AVE MANASQUAN
- \*Are the property taxes paid to date? YES
- \*Have there been any previous applications to the Planning Board concerning this property? NO  
(Attach copy)
- \*\*Are there any Deed Restrictions, Easements, or Covenants affecting this property? YES  
(Attach copy)
- \*The applicant agrees to be responsible for and pay for the costs entailed in the review of this application by any experts retained by the Planning Board for advice in this matter.

Signature of Applicant or Agent

24 JANUARY 2022  
Date

06/2021

13 ½ Ocean Ave.  
Manasquan, NJ

On October 6, 2021, we were granted a fifteen-minute presentation before the Planning Board of Manasquan for the purpose of obtaining some guidance regarding the footprint that might be permitted on this property, Block 157, Lot 4.03, 13 ½ ocean Ave., Borough of Manasquan.

We were asked to determine when the lot came into existence and how and when the easement to the property was acquired. The Hall of records in Freehold provided copies of the deeds which answered those questions.

I have renumbered the attached pages and highlighted the information requested.

How the Lot came into existence is highlighted on page 2 (Book 4656, Page 843). The Planning Board of Manasquan gave final approval for this minor subdivision on December 3, 1985.

A Deed of Easement was created on March 10, 1987. As noted on page 5, (DB 4742 – 0306) and highlighted on page 8 (DB 4742 – 0311). Copies Of the survey for the easement are on page 9 (Block 4656 page 844) and page 10 (DB 4742 – 0313).

A Right of Way Agreement was given to Jersey Central Power and Light Company and New Jersey Bell Telephone Company on June 30, 1987, pages 16 and 17 (DB 4774 – 0923) and (DB 4774 -0924).



# DEED

Prepared by: (Print signer's name below signature)  
*[Signature]*  
THOMAS E. O'BRIEN, Attorney

This Deed is made on May 16, 1986

BETWEEN DOUGLAS B. HANNA and DEBORAH HANNA, his wife,

COUNTY OF MONMOUTH  
CONSIDERATION  
RPT. **EXEMPT** Ld' RTF  
DATE 5-20-86 BY [Signature]

whose address is 2395 Riverside Terrace, Wall Twp., N. J.,

referred to as the Grantor,

AND DOUGLAS B. HANNA and DEBORAH HANNA, his wife,

whose post office address is 2395 Riverside Terrace, Wall Twp., N. J.,

referred to as the Grantee.

The words "Grantor" and "Grantee" shall mean all Grantors and all Grantees listed above.

**Transfer of Ownership.** The Grantor grants and conveys (transfers ownership of) the property described below to the Grantee. This transfer is made for the sum of NO CONSIDERATION

The Grantor acknowledges receipt of this money.

**Tax Map Reference.** (N.J.S.A. 46:15-2.1) Municipality of Borough of Manasquan  
Block No. 157 Lot No. 4 Account No.

No property tax identification number is available on the date of this deed. (Check box if applicable.)

**Property.** The property consists of the land and all the buildings and structures on the land in the Borough of Manasquan of Manasquan County of Monmouth and State of New Jersey. The legal description is:

### TRACT I

BEGINNING at a monument in the southwesterly line of Ocean Avenue, distant 150.27 ft. measured along the same in a southeasterly direction from its intersection with the southeasterly line of North Potter Avenue and running thence

- (1) South 49° 14' West 105.00 ft. to a point; thence
- (2) South 40° 46' East 26.50 ft. to a point; thence
- (3) North 49° 14' East 105.00 ft. to a point in the southwesterly line of Ocean Avenue; thence
- (4) North 40° 46' West 26.50 ft. along the southwesterly line of Ocean Avenue to the point and place of Beginning.

TOGETHER with a right-of-way in and over a certain strip of land along the southeasterly side of the above-described Tract I and more particularly described as follows:

BEGINNING at a point which is the termination of the third course in Tract I herein and running thence

- (1) South 49° 14' West 105.00 ft. to a point; thence
- (2) South 40° 46' East 1.88 ft. to a point; thence
- (3) North 49° 14' East 105.00 ft. to a point in the southwesterly line of Ocean Avenue; thence
- (4) North 40° 46' West 1.88 ft. along the southwesterly line of Ocean Avenue to the point and place of Beginning;

which premises also constitutes a portion of Tract II described below, for the said Grantees, their heirs, successors, and assigns, and the tenants and occupants from time to time of the said premises, at all times freely to pass and repass, on foot or with vehicles, loads, or otherwise, to, from, and between the premises hereby granted and Ocean Avenue.

DEED

BOOK 4656 PAGE 842

TRACT II

BEGINNING at a point which is the termination of the third course in Tract I herein and running thence

- (1) South 49° 14' West 105.00 ft. to a point; thence
- (2) South 40° 46' East 26.50 ft. to a point; thence
- (3) North 49° 14' East 105.00 ft. to a point in the southwesterly line of Ocean Avenue; thence
- (4) North 40° 46' West along the southwesterly line of Ocean Avenue 26.50 ft. to the point and place of Beginning.

TOGETHER with a right-of-way in and over a certain strip of land along the northwesterly side of Tract II as just described herein, and more particularly described as follows:

BEGINNING at a point which is the Beginning Point of this Tract II description and running thence

- (1) South 49° 14' West 105.00 ft. to a point; thence
- (2) North 40° 46' West 5.72 ft. to a point; thence
- (3) North 49° 14' East 105.00 ft. to a point in the southwesterly line of Ocean Avenue; thence
- (4) South 40° 46' East and along the southwesterly line of Ocean Avenue a distance of 5.72 ft. to the point and place of Beginning,

for the said Grantees, their heirs, successors, and assigns, and the tenants and occupants from time to time of the said premises, at all times freely to pass and repass, on foot or with vehicles, loads, or otherwise, to, from, and between the premises herein granted and Ocean Avenue.

TRACT III

BEGINNING at a point which is the termination of the first course in Tract I herein and running thence

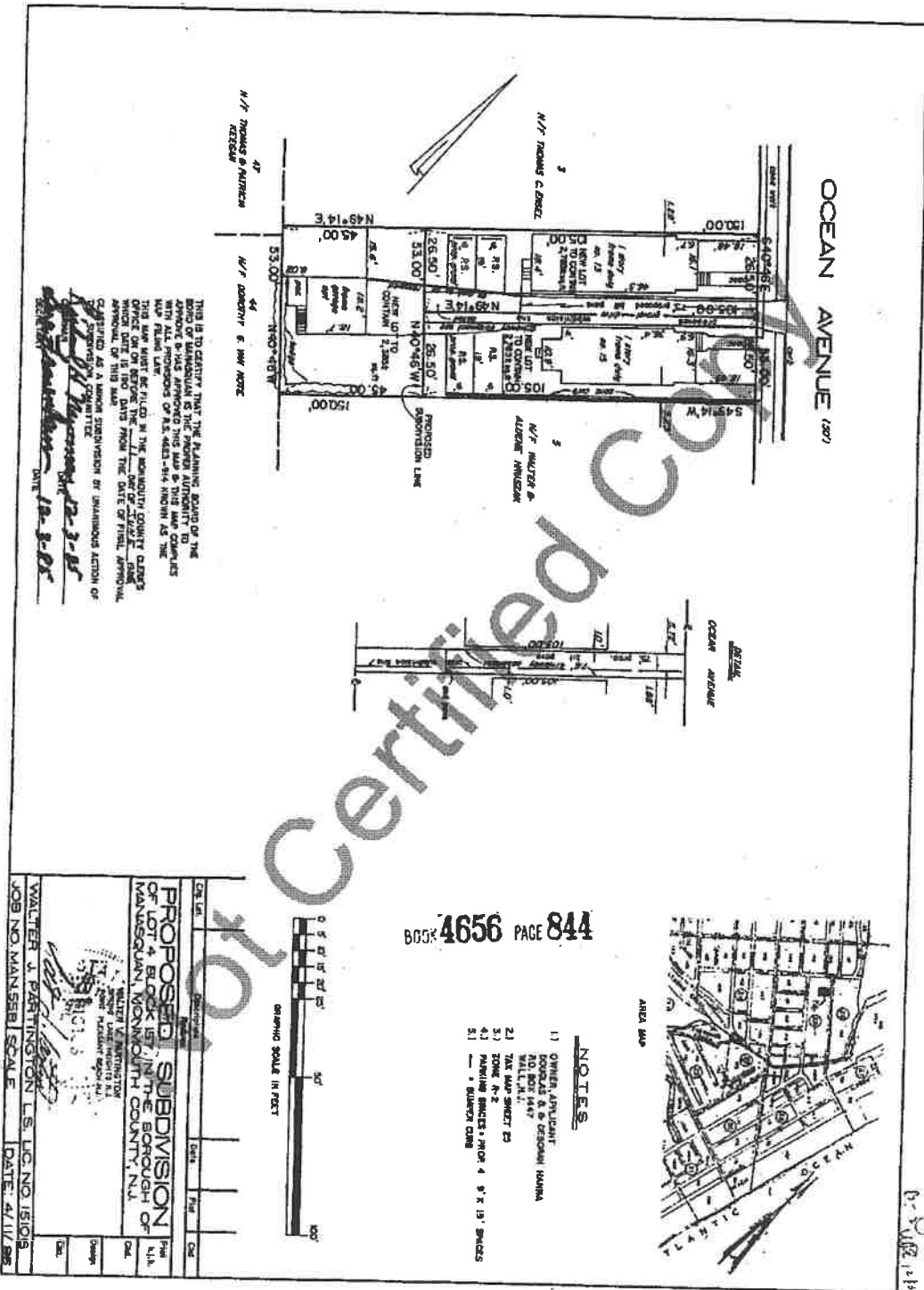
- (1) South 49° 14' West 45.00 ft. to a point; thence
- (2) South 40° 46' East 53.00 ft. to a point; thence
- (3) North 49° 14' East 45.00 ft. to a point; thence
- (4) North 40° 46' West 53.00 ft. to the point and place of Beginning.

TOGETHER with a right-of-way over each of the two strips of land described in Tract I and Tract II herein having widths of 1.88 ft. and 5.72 ft. and as delineated on the copy of the subdivision plan which is annexed hereto and made a part hereof, for the said Grantees, their heirs, successors and assigns, and the tenants and occupants from time to time of the said premises, at all times, freely to pass and repass, on foot, or with vehicles, loads, or otherwise, to, from, and between the premises hereby granted and Ocean Avenue.

The foregoing Tracts I, II and III are described in accordance with a plan entitled "Proposed Subdivision of Lot 4 Block 157 in the Borough of Manasquan, Monmouth County, N. J.," prepared by Walter J. Partington, L. S., dated April 11, 1985. Said subdivision was classified as a Minor Subdivision by the Planning Board of the Borough of Manasquan on December 3, 1985 and given final approval by said Planning Board on December 3, 1985.

BEING the same premises conveyed to Douglas B. Hanna and Deborah Hanna, his wife, by deed from William A. Mace and Catherine M. Mace, his wife, dated December 28, 1984 and recorded January 4, 1985 in Deed Book 4533 at page 300.

2



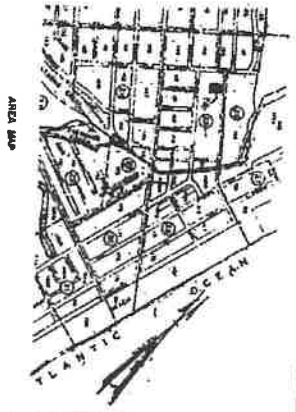
THIS IS TO CERTIFY THAT THE PLANNING BOARD OF THE BOROUGH OF MANASSASQUAN IS THE PROPER AUTHORITY TO APPROVE & HAS APPROVED THIS PLAN & THIS PLAN COMPLETS ALL THE REQUIREMENTS OF R.S. 262-114 KNOWN AS THE MAP REVENUE LAW.

THIS PLAN MUST BE FILED IN THE MONMOUTH COUNTY CLERK'S OFFICE ON OR BEFORE THE 11<sup>TH</sup> DAY OF JULY AND APPROVAL OF THIS PLAN SHALL BE THE DATE OF FINAL APPROVAL.

CLASSIFIED AS A MINOR SUBDIVISION BY SHARON'S ACTION OF THE BOARD OF PLANNING AND ZONING.

DATE: 12-3-87  
DATE: 12-3-87

BOOK 4656 PAGE 844



NOTES

- 1) OWNER APPLICANT DONALD S. & DEBORAH WAINIA 201 BOX 1447 MANASSASQUAN, N.J.
- 2) 30' WIDE SIDEWALK
- 3) 10' WIDE SIDEWALK
- 4) 10' WIDE SIDEWALK
- 5) 10' WIDE SIDEWALK
- 6) 10' WIDE SIDEWALK



DATE	BY	CHKD

**PROPOSED SUBDIVISION OF LOT 4 BLOCK 157 NORTH BOROUGH OF MANASSASQUAN, MONMOUTH COUNTY, N.J.**  
 WALTER J. PARTINGTON  
 WALTER J. PARTINGTON L.S. LIC. NO. 15703  
 JOB NO. MAN 581 SCALE 1" = 40'  
 DATE: 4/11/88

3

NOT Certified Copy

031353  
RECORDED  
MONMOUTH COUNTY  
CLERKS OFFICE  
12:02 PM  
MAY 20 1986  
JANE S. CLAYTON  
COUNTY CLERK  
FREEHOLD N.J.

**Promises by Grantor.** The Grantor promises that the Grantor has done no act to encumber the property. This promise is called a "covenant as to grantor's acts" (N.J.S.A. 46:4-6). This promise means that the Grantor has not allowed anyone else to obtain any legal rights which affect the property (such as by making a mortgage or allowing a judgment to be entered against the Grantor).

**Signatures.** The Grantor signs this Deed as of the date at the top of the first page.

Witnessed by: [Signature] (Seal)  
DOUGLAS B. HANNA

[Signature] (Seal)  
DEBORAH HANNA

[Signature]  
THOMAS E. O'BRIEN

STATE OF NEW JERSEY, COUNTY OF MONMOUTH SS.:

I CERTIFY that on May 16, 1986, DOUGLAS B. HANNA and DEBORAH HANNA, his wife,

personally came before me and acknowledged under oath, to my satisfaction, that this person (or if more than one, each person):

- (a) is named in and personally signed this Deed;
- (b) signed, sealed and delivered this Deed as his or her act and deed; and
- (c) made this Deed for \$ NO CONSIDERATION as the full and actual consideration paid or to be paid for the transfer of title. (Such consideration is defined in N.J.S.A. 46:15-2.)

RTE Exempt  
RvK to: chp 246  
TRUAX Abstract, Inc. Peaker, Mesquite  
P.O. Box 185 O'Brien  
BRIGLIE, NJ 08730  
RE: MISC. EVIDENCE NO FILE #

[Signature]  
(Print name and title below signature)  
THOMAS E. O'BRIEN, Attorney-at-law of New Jersey

4

PREPARED BY: Thomas E. O'Brien  
THOMAS E. O'BRIEN, ESQUIRE

42  
62

DEED OF EASEMENT

THIS DEED OF EASEMENT made this 10th day of March, 1987, by and between:

DOUGLAS B. HANNA and DEBORAH HANNA, his wife, whose address is 2395 Riverside Terrace, Wall Township, Monmouth County, New Jersey 07719 hereinafter referred to as the "Grantors";

and

DOUGLAS B. HANNA and DEBORAH HANNA, his wife, whose address is 2395 Riverside Terrace, Wall Township, Monmouth County, New Jersey 07719 hereinafter referred to as the "Grantees".

W I T N E S S E T H:

The Grantors in consideration of One Dollar (\$1.00) and other good and valuable consideration, receipt of which is hereby acknowledged, does hereby give, grant and convey unto the Grantees, their executors, administrators or assigns a perpetual easement over, under and through the real estate consisting of three (3) parcels more particularly described on Exhibit "A", a copy of which is attached hereto and made a part hereof, which parcels were created by minor subdivision of Lot 4, Block 157, as reflected on the minor subdivision sketch plat also attached hereto and made a part hereof at Exhibit "B", for the purposes of using, replacing, maintaining and constructing water, sewer, gas and electric utility pipes or lines now existing or which may be required in the future in connection with the Grantees, their executors, administrators or assigns use and occupancy of the three (3) residential structures. The lands upon which each of the three (3) residential structures are located, reflected as Nos. 13, 15 and "Frame Garage Apartment" on attached Exhibit "C", shall each be benefited and burdened by the utility easements granted herein to the extent reflected on "Plan of Utility Easement for Dwelling Known as 13 and 15 and "Frame Garage Apartment", Ocean Avenue, Borough of Manasquan, Monmouth County, New Jersey" prepared by George W. Edwards, Land Surveyor, dated February 16, 1987. The legal description of each of the utility

Not Certified Copy

DB4742-0308

5

easement areas located upon premises designated as Nos. 13, 15 and "Frame Garage Apartment" are attached hereto and made a part hereof at Exhibits "D", "E" and "F", respectively.

The Grantees, their executors, administrators or assigns shall be responsible to construct any required utility systems and to make all repairs required to be made to the utility systems at their sole cost and expense. In the event any of the three (3) residential units are transferred to third parties then each of the individual property owners shall be responsible to keep said easement areas free and clear of any and all encumbrances so that each property owner shall have the right of access to said easement property for the purposes of operating and maintaining the aforesaid utility systems, and each party shall be responsible for the cost of any construction or repairs to the lines servicing their property.

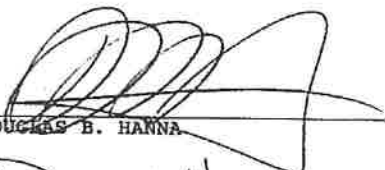
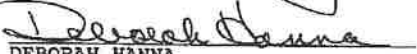
The Grantees, their executors, administrators or assignees shall, as soon as practicable after construction or repair of the said utility systems, restore the easement areas to a neat and presentable condition, it being understood that this covenant is to run with the land.

This indenture shall inure to the benefit of and be binding upon the successors and assigns of the parties hereto.

IN WITNESS WHEREOF, the said Grantors have executed this Deed as of the date aforesaid.

WITNESS:

\_\_\_\_\_  
\_\_\_\_\_

  
\_\_\_\_\_  
DOUGLAS B. HANNA  
  
\_\_\_\_\_  
DEBORAH HANNA

Not Certified Copy

6

TRACT I

BEGINNING at a monument in the southwesterly line of Ocean Avenue, distant 150.27 ft. measured along the same in a southeasterly direction from its intersection with the southeasterly line of North Potter Avenue and running thence

- (1) South 49° 14' West 105.00 ft. to a point; thence
- (2) South 40° 46' East 26.50 ft. to a point; thence
- (3) North 49° 14' East 105.00 ft. to a point in the southwesterly line of Ocean Avenue; thence
- (4) North 40° 46' West 26.50 ft. along the southwesterly line of Ocean Avenue to the point and place of Beginning.

TOGETHER with a right-of-way in and over a certain strip of land along the southeasterly side of the above-described Tract I and more particularly described as follows:

BEGINNING at a point which is the termination of the third course in Tract I herein and running thence

- (1) South 49° 14' West 105.00 ft. to a point; thence
- (2) South 40° 46' East 1.88 ft. to a point; thence
- (3) North 49° 14' East 105.00 ft. to a point in the southwesterly line of Ocean Avenue; thence
- (4) North 40° 46' West 1.88 ft. along the southwesterly line of Ocean Avenue to the point and place of Beginning;

which premises also constitutes a portion of Tract II described below, for the said Grantees, their heirs, successors, and assigns, and the tenants and occupants from time to time of the said premises, at all times freely to pass and repass, on foot or with vehicles, loads, or otherwise, to, from, and between the premises hereby granted and Ocean Avenue.

TRACT II

BEGINNING at a point which is the termination of the third course in Tract I herein and running thence

- (1) South 49° 14' West 105.00 ft. to a point; thence
- (2) South 40° 46' East 26.50 ft. to a point; thence
- (3) North 49° 14' East 105.00 ft. to a point in the southwesterly line of Ocean Avenue; thence
- (4) North 40° 46' West along the southwesterly line of Ocean Avenue 26.50 ft. to the point and place of Beginning.

TOGETHER with a right-of-way in and over a certain strip of land along the northwesterly side of Tract II as just described herein, and more particularly described as follows:

BEGINNING at a point which is the Beginning Point of this Tract II description and running thence

- (1) South 49° 14' West 105.00 ft. to a point; thence
- (2) North 40° 46' West 5.72 ft. to a point; thence
- (3) North 49° 14' East 105.00 ft. to a point in the southwesterly line of Ocean Avenue; thence
- (4) South 40° 46' East and along the southwesterly line of Ocean Avenue a distance of 5.72 ft. to the point and place of Beginning,

for the said Grantees, their heirs, successors, and assigns, and the tenants and occupants from time to time of the said premises, at all times freely to pass and repass, on foot or with vehicles, loads, or otherwise, to, from, and between the premises herein granted and Ocean Avenue.

EXHIBIT "A"

DB4742-0310

7

TRACT III

BEGINNING at a point which is the termination of the first course in Tract I herein and running thence

- (1) South 49° 14' West 45.00 ft. to a point; thence
- (2) South 40° 46' East 53.00 ft. to a point; thence
- (3) North 49° 14' East 45.00 ft. to a point; thence
- (4) North 40° 46' West 53.00 ft. to the point and place of Beginning.

TOGETHER with a right-of-way over each of the two strips of land described in Tract I and Tract II herein having widths of 1.88 ft. and 5.72 ft. and as delineated on the copy of the subdivision plan which is annexed hereto and made a part hereof, for the said Grantees, their heirs, successors and assigns, and the tenants and occupants from time to time of the said premises, at all times, freely to pass and repass, on foot, or with vehicles, loads, or otherwise, to, from, and between the premises hereby granted and Ocean Avenue.

The foregoing Tracts I, II and III are described in accordance with a plan entitled "Proposed Subdivision of Lot 4 Block 157 in the Borough of Manasquan, Monmouth County, N. J.," prepared by Walter J. Partington, L. S., dated April 11, 1985. Said subdivision was classified as a Minor Subdivision by the Planning Board of the Borough of Manasquan on December 3, 1985 and given final approval by said Planning Board on December 3, 1985.

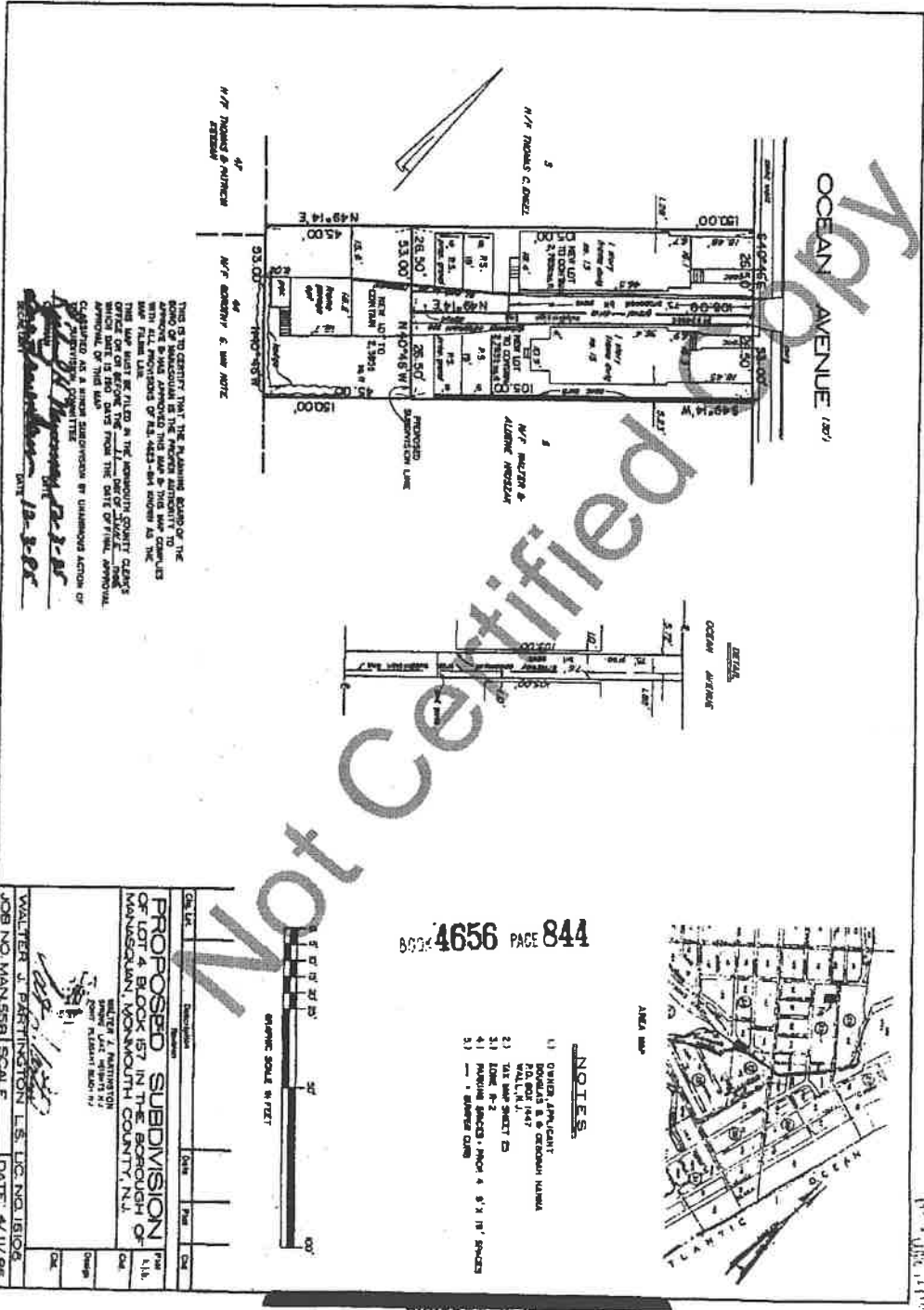
BEING the same premises conveyed to Douglas B. Hanna and Deborah Hanna, his wife, by deed from William A. Mace and Catherine M. Mace, his wife, dated December 28, 1984 and recorded January 4, 1985 in Deed Book 4533 at page 300.

DB4742-0311

Not Certified

8

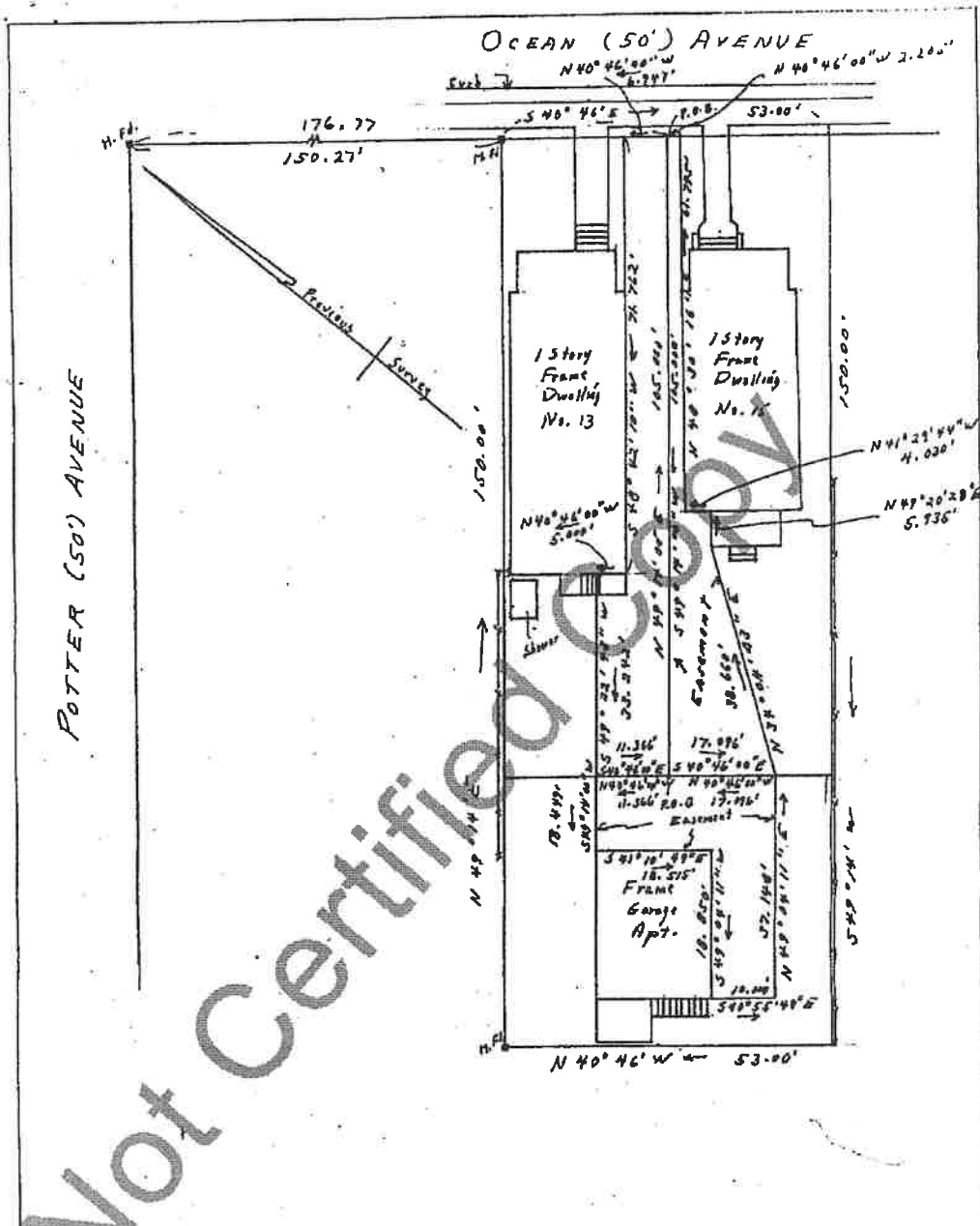




OB4742-0312

EXHIBIT "B"

9



PLAN OF UTILITY EASEMENTS FOR DWELLINGS KNOWN AS 13 & 15A OCEAN AVENUE, BOROUGH OF MANASQUAN, MONMOUTH COUNTY, NEW JERSEY

*George W. Edwards*  
 GEORGE W. EDWARDS  
 LAND SURVEYOR, N. J. Lic. No. 19002  
 4 Forest Avenue  
 Manasquan, N.J. 08736

Scale: 1" = 20'

Date: February 16, 1987

EXHIBIT "C"

DB4742-0313

10

February 16, 1987

DWELLING NO. 13

a portion of  
DESCRIPTION OF UTILITY EASEMENT FOR LOT 4, BLOCK 157, TAX  
MAP, BOROUGH OF MANASQUAN, MONMOUTH COUNTY, NEW JERSEY;

BEGINNING at a point on the Southerly line of Ocean  
Avenue, distant 176.77 feet on a course of South 40 degrees,  
46 minutes East from the intersection of the Southerly line  
of Ocean Avenue and the Easterly line of Potter Avenue;  
thence,

(1) North 40 degrees, 46 minutes, 00 seconds West 6.947  
feet to a point; thence,

(2) South 48 degrees, 42 minutes, 10 seconds West  
71.762 feet to a point; thence,

(3) North 40 degrees, 46 minutes, 00 seconds West 5.000  
feet to a point; thence,

(4) South 49 degrees, 22 minutes, 43 seconds West  
33.242 feet to a point; thence,

(5) South 40 degrees, 46 minutes, 00 seconds East  
11.366 feet to a point; thence,

(6) North 49 degrees, 14 minutes, 00 seconds East  
105.000 feet to the beginning point.

Containing 851.04 square feet or 0.019537 Acres.

EXHIBIT "D"

DB4742-0314

11

February 16, 1987

DWELLING NO. 15

a portion of  
DESCRIPTION OF UTILITY EASEMENT FOR LOT 4 , BLOCK 157, TAX  
MAP, BOROUGH OF MANASQUAN, MONMOUTH COUNTY, NEW JERSEY:

BEGINNING at a point on the Southerly line of Ocean Avenue, distant 176.77 feet on a course of South 40 degrees, 46 minutes East from the intersection of the Southerly line of Ocean Avenue and the Easterly line of Potter Avenue; thence,

(1) South 49 degrees, 14 minutes, 00 seconds West 105.000 feet to a point; thence,

(2) South 40 degrees, 46 minutes, 00 seconds East 17.096 feet to a point; thence,

(3) North 34 degrees, 04 minutes, 43 seconds East 38.660 feet to a point; thence,

(4) North 49 degrees, 20 minutes, 28 seconds East 5.935 feet to a point; thence,

(5) North 41 degrees, 29 minutes, 44 seconds West 4.030 feet to a point; thence,

(6) North 48 degrees, 30 minutes, 16 seconds East 61.795 feet to a point; thence,

(7) North 40 degrees, 46 minutes, 00 seconds West 2.205 feet to the beginning point.

Containing 649.91 square feet or 0.014920 Acres.

Not Certified Copy

EXHIBIT "E"

DB4742-0315

12

February 16, 1987

BACK OF DWELLINGS NO. 13 AND 15  
"FRAME GARAGE APARTMENT"  
a portion of

DESCRIPTION OF UTILITY EASEMENT FOR LOT 4, BLOCK 157;  
TAX MAP, BOROUGH OF MANASQUAN, MONMOUTH COUNTY, NEW JERSEY;

BEGINNING at a point the following two courses and  
distances from the intersection of the Southerly line of  
Ocean Avenue and the Easterly line of Potter Avenue,

- (1) South 40 degrees, 46 minutes East 178.77 feet to a point; thence,
- (2) South 49 degrees, 14 minutes, 00 seconds West 105.000 feet to the beginning point; thence,
- (1) North 40 degrees, 46 minutes, 00 seconds West 11.366 feet to a point; thence,
- (2) South 49 degrees, 14 minutes, 00 seconds West 18.449 feet to a point; thence,
- (3) South 41 degrees, 10 minutes, 49 seconds East 18.515 feet to a point; thence,
- (4) South 49 degrees, 04 minutes, 11 seconds West 18.850 feet to a point; thence,
- (5) South 40 degrees, 55 minutes, 49 seconds East 10.000 feet to a point; thence,
- (6) North 49 degrees, 04 minutes, 11 seconds East 37.148 feet to a point; thence,
- (7) North 40 degrees, 46 minutes, 00 seconds West 17.096 feet to the beginning point.

Containing 711.37 square feet or 0.016331 Acres.


EXHIBIT "F"

DB4742-0316

STATE OF NEW JERSEY:  
:ss:  
COUNTY OF Morris :

I CERTIFY that on \_\_\_\_\_, 1987, DOUGLAS B. HANNA and DEBORAH HANNA, his wife, personally came before me and acknowledged under oath, to my satisfaction, that each person:

- (a) is named in and personally signed this Deed;
- (b) signed, sealed and delivered this Deed as his or her act and deed; and
- (c) made this Deed for NO CONSIDERATION as the full and actual consideration paid or to be paid for the transfer to title. (Such consideration is defined in N.J.S.A. 46:15-5.)

  
 \_\_\_\_\_  
 DAVID M. SWEETWOOD, ESQ.  
 Attorney in the State of New Jersey

Not Certified Copy

DB4742-0317

14

P

DEED OF EASEMENT

DOUGLAS B. HANNA and  
DEBORAH HANNA, His wife,

Grantors,

DOUGLAS B. HANNA and  
DEBORAH HANNA, His wife,

Grantees

Dated: *MARCH 10, 1987*

*Pl. 37<sup>00</sup> Freehold,  
Cedar & Bleasch, Bape*

RECORD AND RETURN TO:

THOMAS E. O'BRIEN, ESQUIRE  
Bathgate, Wegener, Wouters  
& Neumann  
One Airport Road  
Lakewood, New Jersey 08701

*W.E.N.*

023531

RECORDED  
MONMOUTH COUNTY  
CLERKS OFFICE  
8:45 AM

MAR 24 1987  
JANE G. CLAYTON  
COUNTY CLERK  
FREEHOLD N.J.

END OF DOCUMENT

DB4742-0318

Not Certified Copy

15

### Right of Way Agreement

IN CONSIDERATION of One Dollar (\$1.00), paid by JERSEY CENTRAL POWER & LIGHT COMPANY, a New Jersey corporation, or NEW JERSEY BELL TELEPHONE COMPANY, the receipt of which is hereby acknowledged, the undersigned do (does) hereby grant and convey unto said Jersey Central Power & Light Company, its successors and assigns, and New Jersey Bell Telephone Company, its associated and allied Companies, their successors and assigns, the right to enter without notice upon premises of the undersigned in the \_\_\_\_\_ Borough

of Hanasquan County of Monmouth and State of New Jersey, situate on the south side of Ocean Avenue, east of Potter Avenue, being Lot 4-131/2, Block 157, as shown on the Tax Map of said Borough. Also being the same premises described in Deed Dated May 15, 1987 and recorded May 26, 1987 in Deed Book 4757 on Page 959 at the Monmouth County Clerks Office.

and from time to time to erect, maintain, renew, relocate, redesign, alter and remove poles, guys, anchors, guy stubs, crossarms, wires, cables and appurtenances in perpetuity for the transmission and distribution of electricity, the operation of communication and CATV systems, and in addition thereto to erect and maintain such other wires or appurtenances on said poles and crossarms as said Companies may deem necessary and proper to be attached thereto, upon, over, across, along and beyond said property, the course of said pole line to run as follows:

Beginning from an existing pole BT#40084 situated on the north side of Ocean Avenue and crossing said roadway in a generally southerly direction traveling a total distance of approximately 150 feet +/- and entering the premises of the grantor with a new pole JC#779 together with a stabilizing anchor guy extending southerly for proper support of said pole.

It is agreed that the Companies may improve said pole line from time to time so that utility service may be supplied in a proper manner and shall have the right to trim and keep trimmed, or cut and remove such tree or tree branches as may be required to maintain service at all times.

Date 6/30 1987  
WITNESS: Marie Soares (L.S.)  
Marie Soares (L.S.)  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
(Non-corporate) (Grantors)

ATTEST:  
\_\_\_\_\_  
Secretary BY \_\_\_\_\_ President  
(Corporate) (Grantors)

Prepared by: Robert A. Timpanaro  
Robert A. Timpanaro

059090  
RECORDED  
MONMOUTH COUNTY  
CLERKS OFFICE  
10:35 AM  
JUL 24 1987  
JANE G. CLAYTON  
COUNTY CLERK  
FRENCHLAND N.J.

DB4774-0923



STATE OF NEW JERSEY )  
 )  
COUNTY OF ) ss:

BE IT REMEMBERED, that on this \_\_\_\_\_ day of \_\_\_\_\_, 19\_\_\_\_, before me, the subscriber, personally appeared \_\_\_\_\_ who, being by me duly sworn on his oath, deposes and proves to my satisfaction, that he is \_\_\_\_\_ Secretary of \_\_\_\_\_

the Grantor named in the within Instrument, that \_\_\_\_\_ is \_\_\_\_\_ President of said Corporation; that the execution, as well as the making of this Instrument, has been duly authorized by a proper resolution of the Board of Directors of said Corporation; the deponent well knows the corporate seal of said Corporation; and the seal affixed to said Instrument is such corporate seal and was thereto affixed, and said Instrument signed and delivered by said \_\_\_\_\_ President, as and for h\_\_\_\_\_ voluntary act and deed and for the voluntary act and deed of said Corporation, in presence of deponent, who thereupon subscribed h\_\_\_\_\_ name thereto as witness. The full and actual consideration paid for the transfer of title to realty evidenced by the within Deed, as such consideration is defined in P.L. 1968, c.49, Sec. 1(c) is \$1.00.

Sworn to and subscribed before me )  
at \_\_\_\_\_ )  
the date aforesaid. )

Secretary

Notary Public of New Jersey

My Commission Expires \_\_\_\_\_

(Corporate)

Parcel No. \_\_\_\_\_  
Line: \_\_\_\_\_  
County: \_\_\_\_\_

RIGHT OF WAY AGREEMENT  
W.O.# 525227

SOARES, MARIE

TO  
JERSEY CENTRAL POWER  
& LIGHT COMPANY

RECEIVED in the Clerk's Office of the County of \_\_\_\_\_ New Jersey, on the \_\_\_\_\_ day of \_\_\_\_\_ A.D., 19\_\_\_\_, at \_\_\_\_\_ o'clock in the \_\_\_\_\_ noon, and recorded in Book \_\_\_\_\_ of Deeds for said County, on Page \_\_\_\_\_

This instrument prepared by: R. A. Timpanaro  
RECORD AND RETURN TO  
JERSEY CENTRAL POWER & LIGHT COMPANY  
REAL ESTATE DEPARTMENT  
MADISON AVE. AT PUNCH BOWL RD.  
MORRISTOWN, N.J. 07960

ACCT. #380

(Direct Acknowledgment)

STATE OF NEW JERSEY )  
 )  
COUNTY OF Monmouth ) ss:

BE IT REMEMBERED, That on this 30<sup>th</sup> day of June, 1987, in the County and State aforesaid, personally appeared before me, the subscriber, a Notary Public of New Jersey \_\_\_\_\_ who, I am satisfied, is \_\_\_\_\_ the Grantor \_\_\_\_\_ mentioned in the within Instrument, to whom I first made known the contents thereof, and thereupon \_\_\_\_\_ acknowledged that she signed, sealed and delivered the same as \_\_\_\_\_ voluntary act and deed for the uses and purposes therein expressed. The full and actual consideration paid for the transfer of title to realty evidenced by the within Deed, as such consideration is defined in P.L. 1968, c.49, Sec. 1(c), is \$1.00.

Robert A. Timpanaro  
Notary Public of New Jersey

ROBERT A. TIMPANARO  
NOTARY PUBLIC OF NEW JERSEY  
BY COMMISSION EXPIRES AUGUST 26, 1989

My Commission Expires \_\_\_\_\_

STATE OF NEW JERSEY )  
 )  
COUNTY OF \_\_\_\_\_ ) ss:

I, \_\_\_\_\_, hereby certify that on the \_\_\_\_\_ day of \_\_\_\_\_, 19\_\_\_\_, in the County of \_\_\_\_\_ and State aforesaid, personally appeared before me \_\_\_\_\_, whom I personally know to be the subscribing witness to the execution of the foregoing Instrument and who, being duly sworn, deposed and said that \_\_\_\_\_ he subscribed h\_\_\_\_\_ name to the said Instrument as a subscribing witness on the date contained therein, and that \_\_\_\_\_ he saw \_\_\_\_\_ sign, seal and deliver the said instrument as \_\_\_\_\_ voluntary act and deed, and that \_\_\_\_\_ he subscribed h\_\_\_\_\_ name thereto at the same time as an attesting witness.

(Subscribing Witness Act.)

IN WITNESS WHEREOF, I have hereunto set my hand and official seal the day and year aforesaid. The full and actual consideration paid for the transfer of title to realty evidenced by the within Deed, as such consideration is defined in P.L. 1968, c.49, Sec. 1(c) is \$1.00.

Notary Public of New Jersey

My Commission Expires \_\_\_\_\_

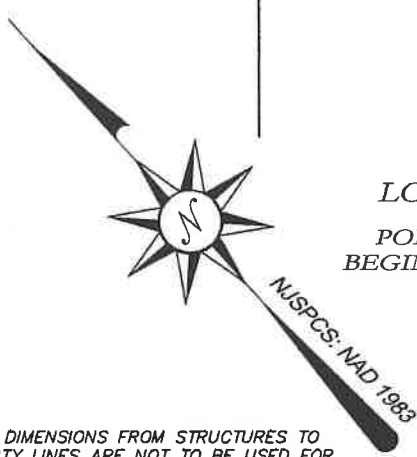
DB4774-0924

END OF DOCUMENT

17

NORTH POTTER AVENUE  
(50' RIGHT OF WAY)

OCEAN AVENUE  
(50' RIGHT OF WAY)



**NOTES:**

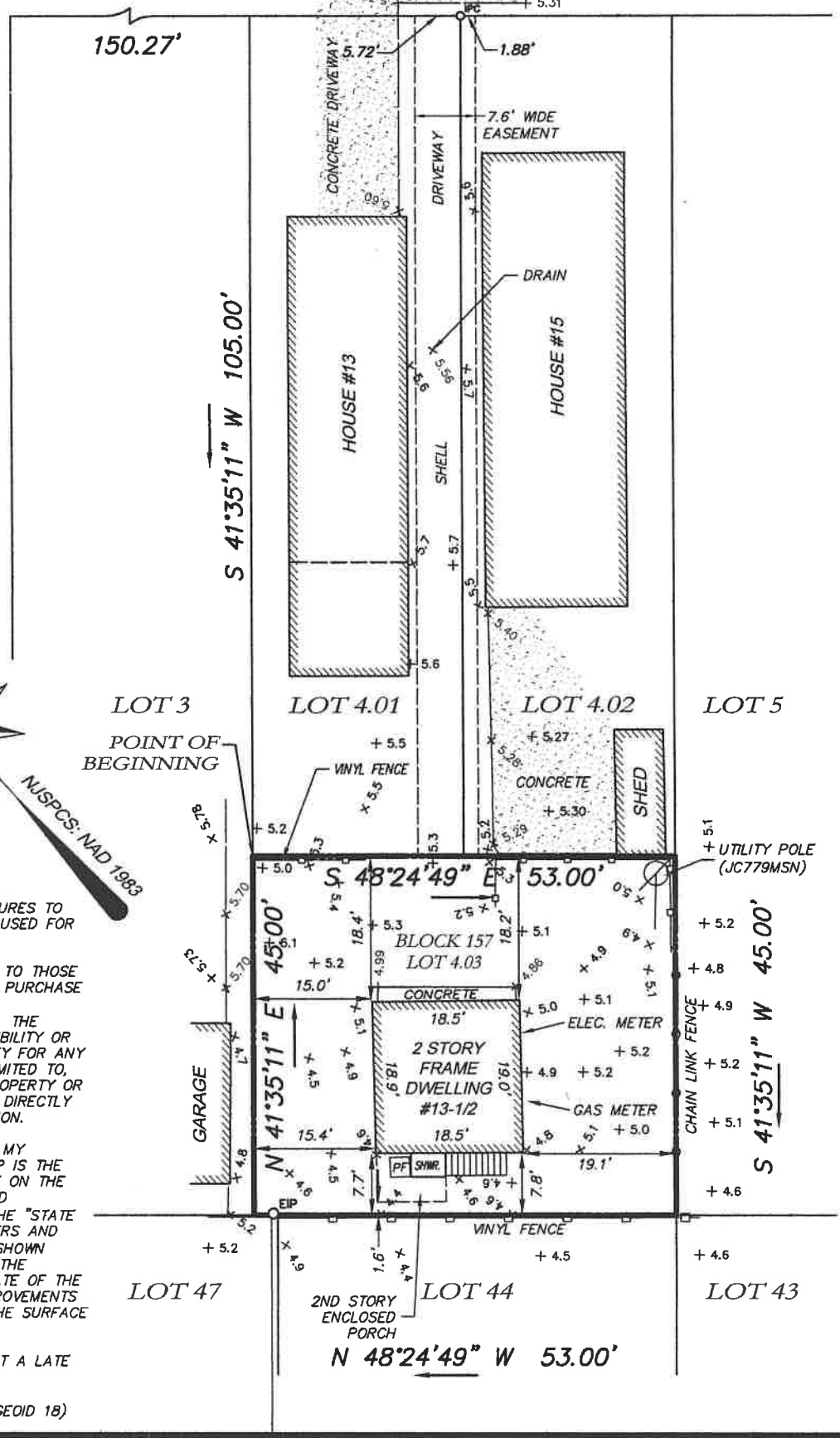
OFFSET DIMENSIONS FROM STRUCTURES TO PROPERTY LINES ARE NOT TO BE USED FOR ESTABLISHING PROPERTY LINES.

THE CERTIFICATION IS MADE ONLY TO THOSE PARTIES NAMED HEREON FOR THE PURCHASE AND/OR MORTGAGE OF PROPERTY DELINEATED AND NAMED HEREON. THE SURVEYOR ASSUMES NO RESPONSIBILITY OR LIABILITY FOR USE OF THIS SURVEY FOR ANY PURPOSE; INCLUDING, BUT NOT LIMITED TO, SURVEY AFFIDAVIT, RESALE OF PROPERTY OR USE BY ANY PARTIES NOT LISTED DIRECTLY OR INDIRECTLY IN THE CERTIFICATION.

I CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE AND BELIEF, THIS MAP IS THE RESULT OF A FIELD SURVEY MADE ON THE DATE SHOWN WITH THE RULES AND REGULATIONS PROMULGATED BY THE "STATE BOARD OF PROFESSIONAL ENGINEERS AND SURVEYORS". THE INFORMATION SHOWN HEREON CORRECTLY REPRESENTS THE CONDITIONS FOUND AS OF THE DATE OF THE FIELD SURVEY, EXCEPT SUCH IMPROVEMENTS OR EASEMENTS, IF ANY, BELOW THE SURFACE AND NOT VISIBLE.

PROPERTY CORNERS TO BE SET AT A LATE DATE

ELEVATIONS ARE IN NAVD 1988 (GEOID 18)



SURVEY OF PROPERTY  
BLOCK 157 - LOT 4.03  
TAX MAP  
BOROUGH OF MANASQUAN  
MONMOUTH COUNTY  
NEW JERSEY

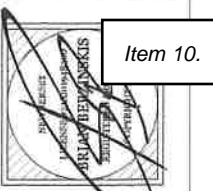
**EDWARDS SURVEYING**  
PROFESSIONAL LAND SURVEYORS

GEORGE W. EDWARDS, P.L.S.      STEVEN M. EDWARDS, P.L.S.  
1335 SUNSET AVENUE      4 FOREST AVENUE  
POINT PLEASANT, NJ 08742      MANASQUAN, NJ 08736  
(1935-2021)

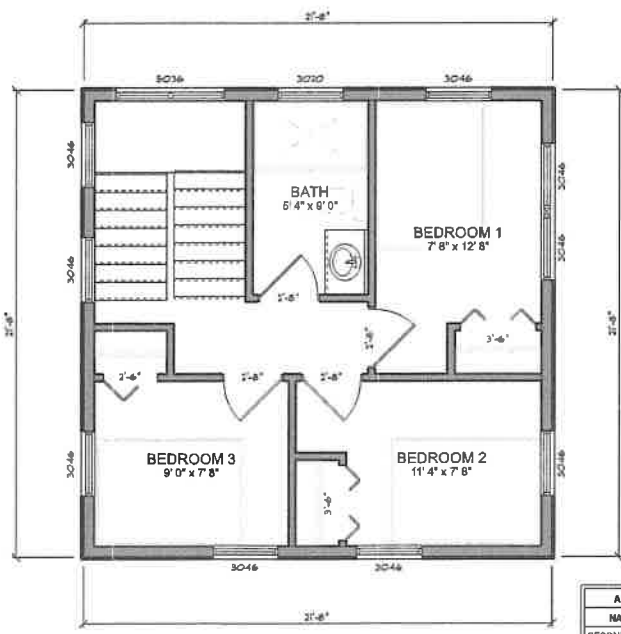
Manasquan: 732-223-0735 - Point Pleasant: 732-892-4010 - Fax: 732-223-3561  
Email: edwards.surveying@yahoo.com

**STEVEN M. EDWARDS, P.L.S.**  
New Jersey License Number: 24GS04323700

Scale: 1"=20'	
Date: JULY 17, 2021	Drawn by: SME
Job No.: 2021-029	Chk'd by: SME

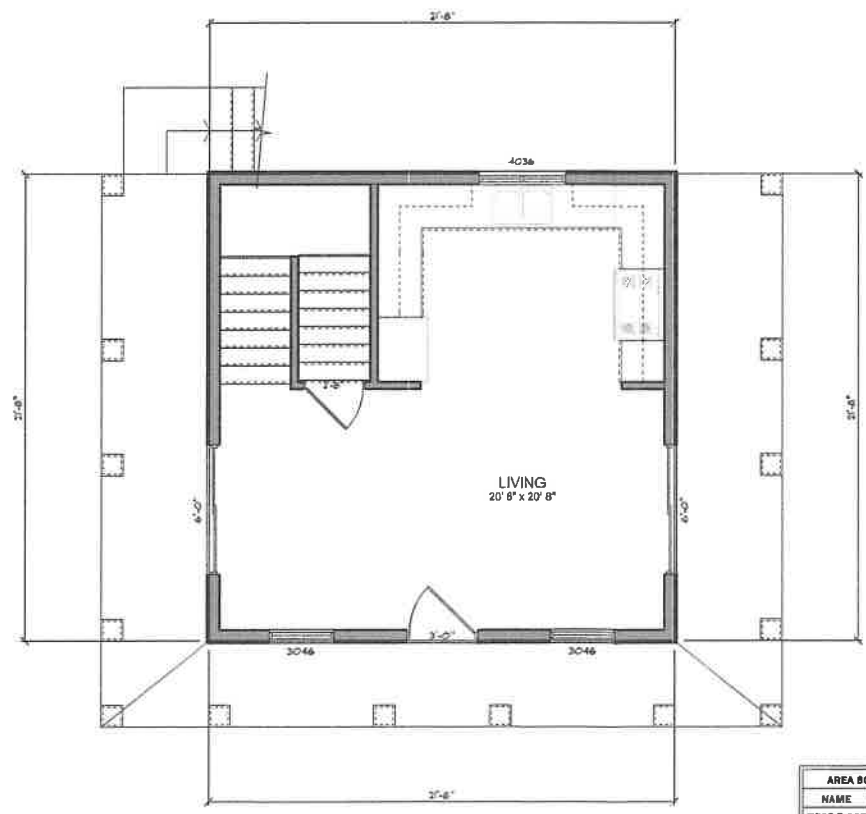


**ELEVATION**  
SCALE: 3/16" = 1'-0"



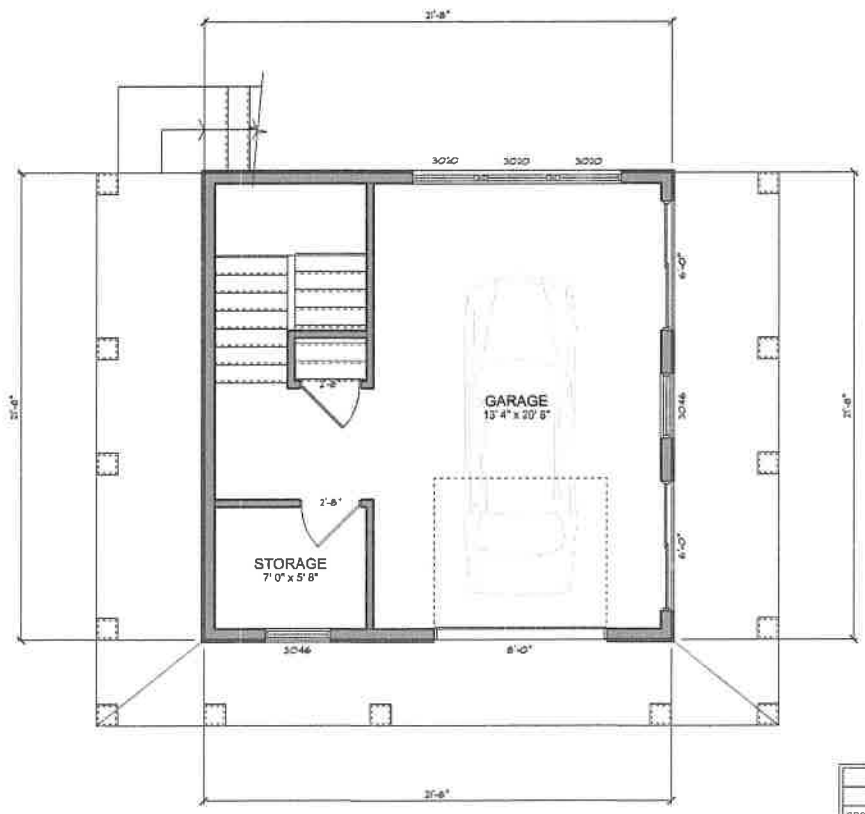
AREA SCHEDULE	
NAME	AREA
SECOND FLOOR	489.4 sq ft.

**PROPOSED SECOND FLOOR**  
SCALE: 1/4" = 1'-0"



AREA SCHEDULE	
NAME	AREA
FIRST FLOOR	469.4 sq ft.

**PROPOSED FIRST FLOOR**  
SCALE: 1/4" = 1'-0"



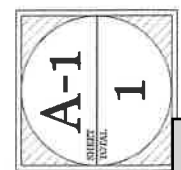
AREA SCHEDULE	
NAME	AREA
GROUND FLOOR	489.4 sq ft.

**PROPOSED GROUND FLOOR**  
SCALE: 1/4" = 1'-0"

PROJECT FOR:  
LUPINSKI, MARIE  
**13-1/2 OCEAN AVE**  
Block: 157  
Lot: 4-03  
Project Number  
CN#021-07-003  
MANASQUAN  
NEW JERSEY

DATE	BY	BB
1/31/2022		

**Grasso Design Group**  
Phone: 732-528-9850  
Fax: 732-528-9067  
design@grassodg.com  
http://www.grassodg.com  
231 Highway 71  
Manasquan  
New Jersey

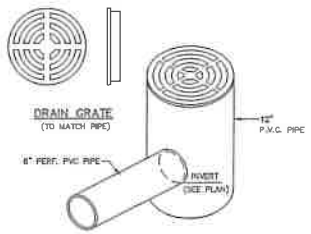


**GENERAL NOTES**

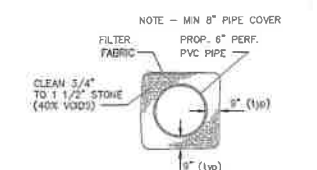
1. THE TRACT IS KNOWN AS LOT 4.03, BLOCK 157 AS SHOWN ON THE BOROUGH OF MANASQUAN, MONMOUTH COUNTY, NEW JERSEY TAX MAP SHEET #24. IT CONTAINS 2,385 SF AND IS LOCATED IN THE R-2 ONE-FAMILY RESIDENTIAL ZONE DISTRICT.
2. BOUNDARY AND TOPOGRAPHIC INFORMATION TAKEN FROM PLANS ENTITLED "SURVEY OF PROPERTY", DATED 7/17/2021, PREPARED BY EDWARDS SURVEYING & SIGNED BY STEVEN M. EDWARDS, PLS NO 24GS04323700.
3. TOPOGRAPHIC DATUM: N.A.V.D., 1988 (VERTICAL)  
N.A.D., 1983 (HORIZONTAL)
4. BASED ON A REVIEW OF NJDEP I-MAP INFORMATION, FRESHWATER WETLANDS DO NOT APPEAR TO BE LOCATED ON THE SUBJECT SITE.
5. PROPOSED LIMIT OF DISTURBANCE IS 2,385 SF (ENTIRE LOT).
6. EFFECTIVE BASE FLOOD ELEVATION = 8.0 (AE ZONE), PRELIMINARY BASE FLOOD ELEVATION = 9.0 (AE ZONE).
7. (2) PARKING STALLS REQUIRED AND (2) PARKING STALLS ARE PROPOSED.
8. DO NOT SCALE THESE PLANS.

**LIST OF VARIANCES**

1. THE REQUIRED LOT AREA IS 5,000 SF; WHEREAS THE EXISTING LOT AREA IS 2,385 SF.
2. THE REQUIRED LOT FRONTAGE IS 50'; WHEREAS THE EXISTING DRIVEWAY ACCESS EASEMENT IS 7.6' WIDE.
3. THE MINIMUM REQUIRED FRONT YARD SETBACK IS 25'; WHEREAS THE PROPOSED FRONT YARD SETBACK FOR THE DWELLING IS 10.6' (TO COVERED PORCH)
4. THE MINIMUM REQUIRED REAR YARD SETBACK IS 20'; WHEREAS THE PROPOSED REAR SETBACK IS TO THE DWELLING IS 3.7' (TO THE LANDING)
5. THE MAXIMUM PERMITTED BUILDING COVERAGE IS 30%; WHEREAS A BUILDING COVERAGE OF 35.43% IS PROPOSED.



**BUBBLER INLET DETAIL**



**RECHARGE TRENCH DETAIL**

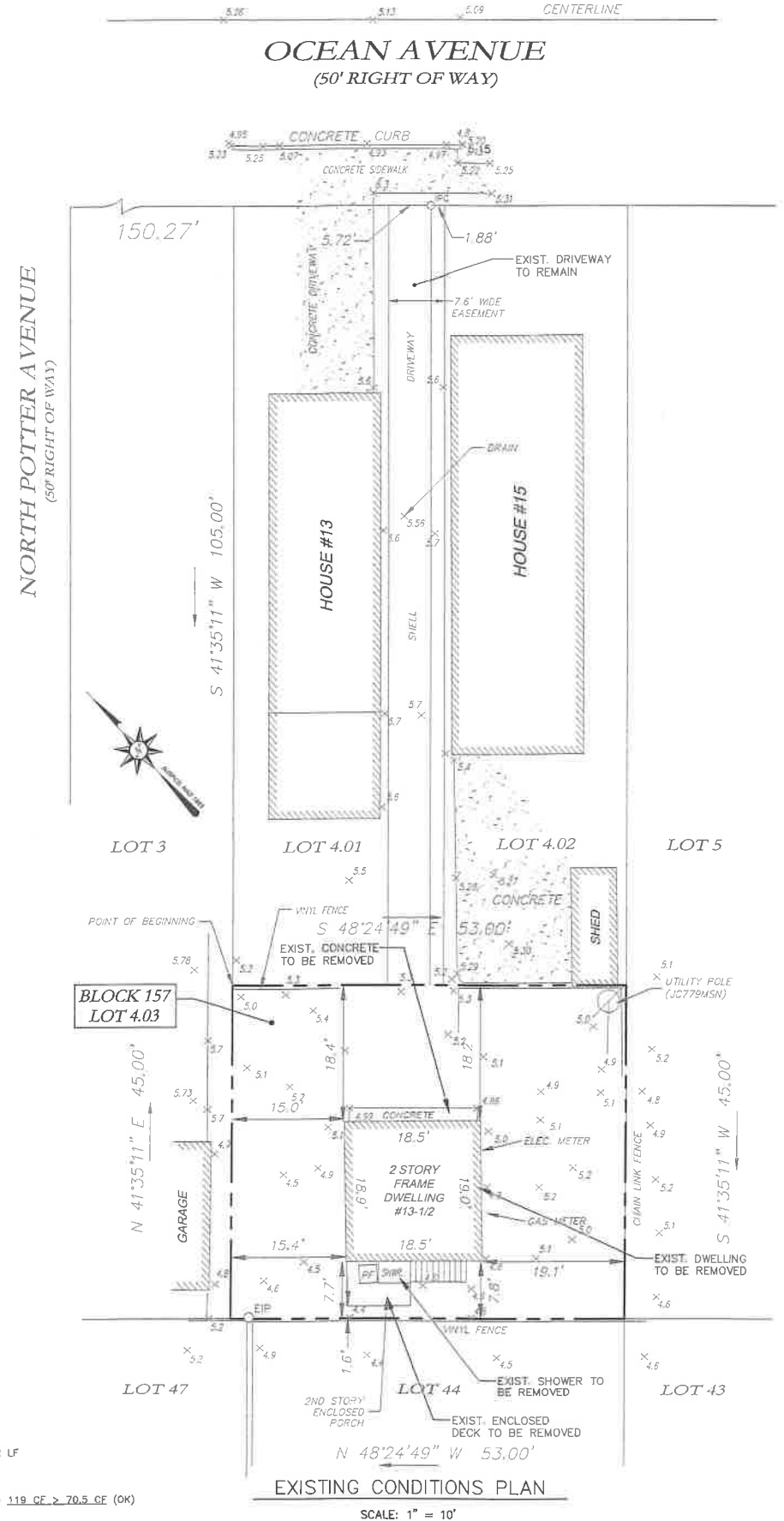
**RECHARGE CALCULATIONS**

RECHARGE REQUIRED:  
PROPOSED ROOF AREA = 845 SF

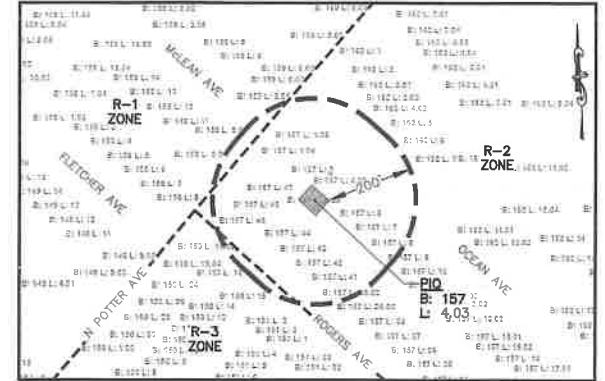
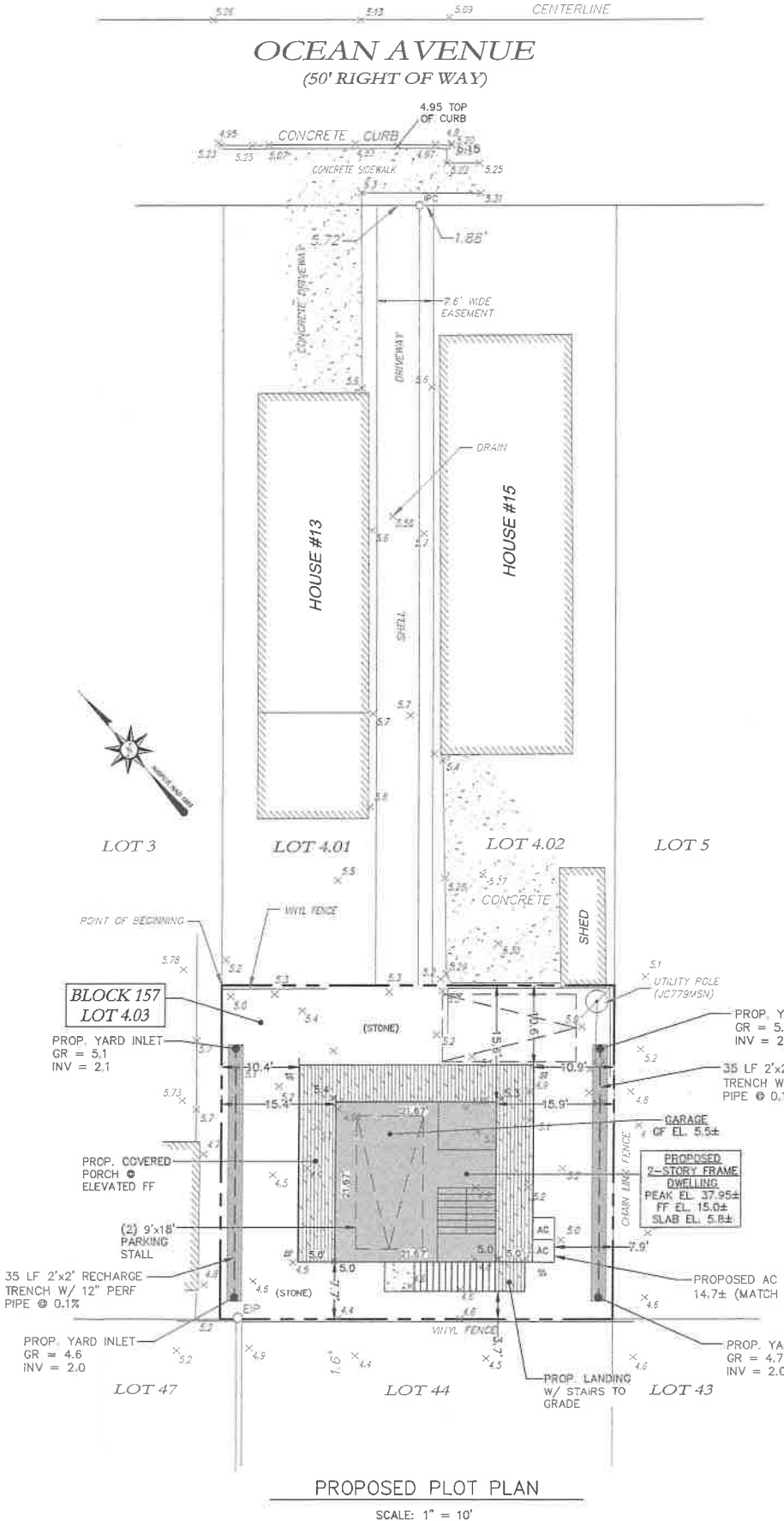
1 CF REQUIRED FOR EACH SF OF ROOF  
845 SF / 12 SF = 70.5 CF (REQUIRED)

RECHARGE VOLUME PROVIDED (EXCLUDES STONE)  
AREA OF PIPE =  $3.14 \times (0.25 \times 0.25) = 0.2 \text{ SF PER LF}$   
AREA OF STONE =  $(2 \times 2) - 0.2 \text{ SF} = 3.8 \text{ SF}$   
AREA OF VOIDS =  $3.8 \text{ SF} \times 0.40 = 1.5 \text{ SF PER LF}$   
LENGTH OF RECHARGE =  $35 + 35 = 70 \text{ LF}$   
VOLUME OF RECHARGE =  $70 \text{ LF} \times (0.2 \text{ sf} + 1.5 \text{ sf}) = 119 \text{ CF} > 70.5 \text{ CF (OK)}$

**OCEAN AVENUE**  
(50' RIGHT OF WAY)



**OCEAN AVENUE**  
(50' RIGHT OF WAY)



**200' PROPERTY OWNERS LIST**

Block/Lot	Property Address	Owner Name	Mailing Street	Mailing City, State, Zip Code
157 41	30 ROGERS AVE	NOTARO, MICHAEL & CHRISTINA	31 LAWRENCE RD	MADISON, NJ 07940
157 1.05	46 POTTER AVE N	O'CONNOR, EDWIN J & JANET M	11 RANITAN AVE	SOUTH AMBOY, NJ 08879
157 4.02	15 OCEAN AVE	CURTIS, JANICE BLAND, EUGENE ETAL	15 OCEAN AVE	MANASQUAN, NJ 08736
157 1.04	50 POTTER AVE N	MANCO, TINA L	PO BOX 334	MANASQUAN, NJ 08736
157 4.01	10 OCEAN AVE	DEPPINGER, DENISE	10 OCEAN AVE	MANASQUAN, NJ 08736
157 1.06	56 POTTER AVE N	GUTIERREZ, ANTHONY & MICHELLE K	56 POTTER AVE N	MANASQUAN, NJ 08736
157 44	16 ROGERS AVE	ROSE, EDWARD W JR & CATHERINE	16 ROGERS AVE	MANASQUAN, NJ 08736
157 46	40 POTTER AVE N	GALE, RHONDA	5 VICTORIAN HILL	MANALAPAN, NJ 07726
158 8.04	45 POTTER AVE N	COZZA, LOUIS & JULIA	45 N POTTER AVE	MANASQUAN, NJ 08736
157 45	38 POTTER AVE N	GALE, RHONDA	5 VICTORIAN HILL	MANALAPAN, NJ 07726
157 8	28 OCEAN AVE	VAYAS, ANGELO & MARY	28 WASHINGTON PARK	MAPLEWOOD, NJ 07040
157 39.03	31 ROGERS AVE	DACHUC, JANET G	31 ROGERS AVE	MANASQUAN, NJ 08736
162 6	18 1/2 OCEAN AVE	MCARDONN, JOHN A & JOAN M	480 BELLEVUE DR	PEARBY, NJ 07031
162 7	16 OCEAN AVE	ORNER, ELIZABETH P	16 OCEAN AVE	MANASQUAN, NJ 08736
162 43	20 ROGERS AVE	MARINO, MARY JO	43 RED FOX CT	SULLYMAN, NJ 08555
162 42	24 ROGERS AVE	BIRNBALM, DEBORAH A	65 SCHAEFER AVE	ORADELL, NJ 07048
162 47	42 POTTER AVE N	MONACO, KEVIN P & MAGGIE S	42 N POTTER AVE	MANASQUAN, NJ 08736
162 8	22 OCEAN AVE	GABELMANN, H ALAN & DONNA	22 OCEAN AVE	MANASQUAN, NJ 08736
162 4.03	15 1/2 OCEAN AVE	15 OCEAN AVENUE REAL ESTATE, LLC	15 OCEAN AVENUE	MANASQUAN, NJ 08736
162 3.03	12 1/2 OCEAN AVE	OCEAN AVENUE, LLC D/O STRLES	12 OCEAN AVE	MANASQUAN, NJ 08736
162 7	25 OCEAN AVE	WYND, COLIN W & LINDA	25 OCEAN AVE	MANASQUAN, NJ 08736
162 6	10 OCEAN AVE	MULLOY, PAUL & JUNE A	10 OCEAN AVE	MANASQUAN, NJ 08736
162 5	17 OCEAN AVE	FALCO, JOSEPH S & CAROLYN A	7 HUBBELL ROAD	WHITEHOUSE STATION, NJ 08889
162 4.01	13 OCEAN AVE	LUPINSKI, STEVEN	97 BRITA PL	SPRINGFIELD, NJ 07081
162 3	11 OCEAN AVE	KEENAN, HAROLD E & MARY PATRICIA	11 OCEAN AVE	MANASQUAN, NJ 08736
162 2.01	10 OCEAN AVE	STILES, SANDRA E	10 OCEAN AVE	MANASQUAN, NJ 08736
162 1	46 POTTER AVE N	MOLTENI, EDWARD A & BARBARA J	2384 SYCAMORE ST	TWALL, NJ 08736

**BUILDING COVERAGE**

ITEM	EXISTING (S.F.)	PROPOSED (S.F.)
DWELLING	351	470
COVERED / ENCLOSED PORCH	52	375
<b>TOTAL</b>	<b>403</b>	<b>845</b>
<b>TOTAL AS A % of 2,385 sf</b>	<b>16.90%</b>	<b>35.43%</b>

**LOT COVERAGE**

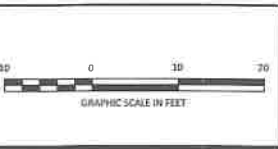
ITEM	EXISTING (S.F.)	PROPOSED (S.F.)
BUILDING COVERAGE	403	845
CONCRETE	30	16
<b>TOTAL</b>	<b>433</b>	<b>861</b>
<b>TOTAL AS A % of 2,385sf</b>	<b>18.16%</b>	<b>36.10%</b>

**ZONING REQUIREMENTS FOR RESIDENTIAL ZONE R-2**

ITEM	REQUIRED	EXISTING	PROPOSED	
LOT AREA (min.)	5,000 SF	2,385 SF	*	NO CHANGE (V)
LOT FRONTAGE (min.)	50'	7.6'	*	NO CHANGE (V)
FRONT SETBACK (min.)				
PRINCIPAL COVERED PORCH	25'	18.2'	*	15.6' (V)
REAR SETBACK (min.)				
PRINCIPAL ELEVATED LANDING	20'	7.7'	*	7.7' (V)
SIDE SETBACK (min.)				
PRINCIPAL COVERED PORCH	5' EACH	15.0' / 19.1'	*	15.4' / 19.5' (V)
BUILDING COVERAGE (max.)	30%	16.90%	*	35.43% (V)
LOT COVERAGE (max.)	45%	18.16%	*	36.10% (V)
BUILDING HEIGHT (max.)	2.5 ST. / 33'	2 ST. / <33'	*	2 ST. / 33.0' (V)

\* EXISTING NON-CONFORMITY  
\*\* MEASURED FROM PEAK TO TOP OF CURB EL. 4.95  
(V) VARIANCE REQUIRED

REVISION NO.	DATE	ADD AC WORKS	REVISION
1	1-17-22		



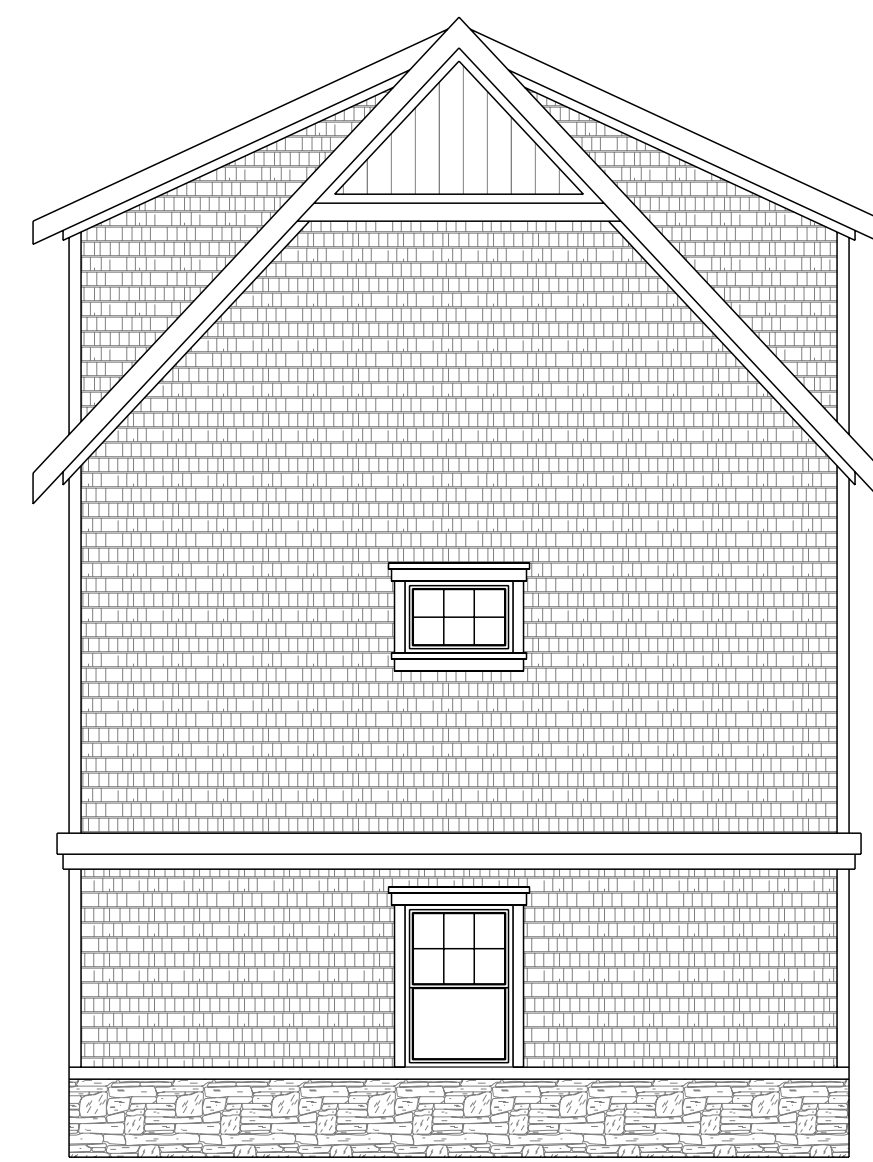
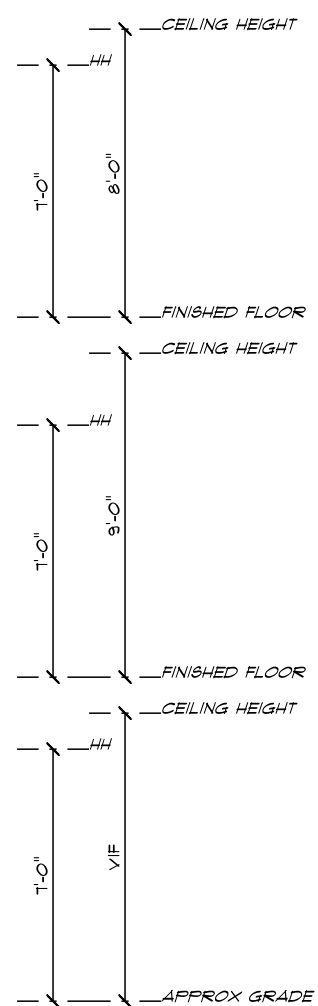
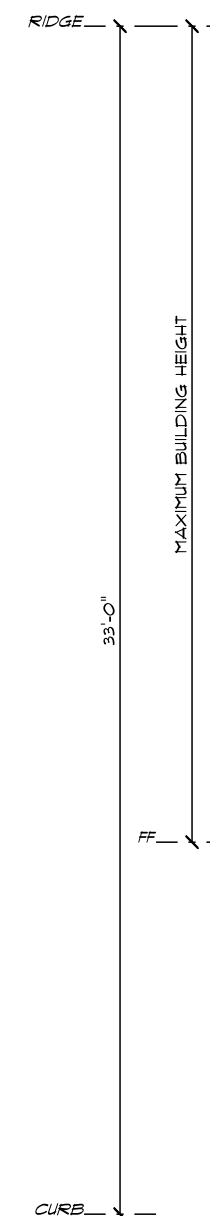
**Matthew C. Hockenbury**  
PROFESSIONAL ENGINEER, N.J. LIC. No. GE49637

**MCH ENGINEERING, Inc**  
1010 COMMONS WAY, BLDG. G  
Toms River, NJ 08755  
TEL: (732) 569-3592  
FAX: (732) 553-2998

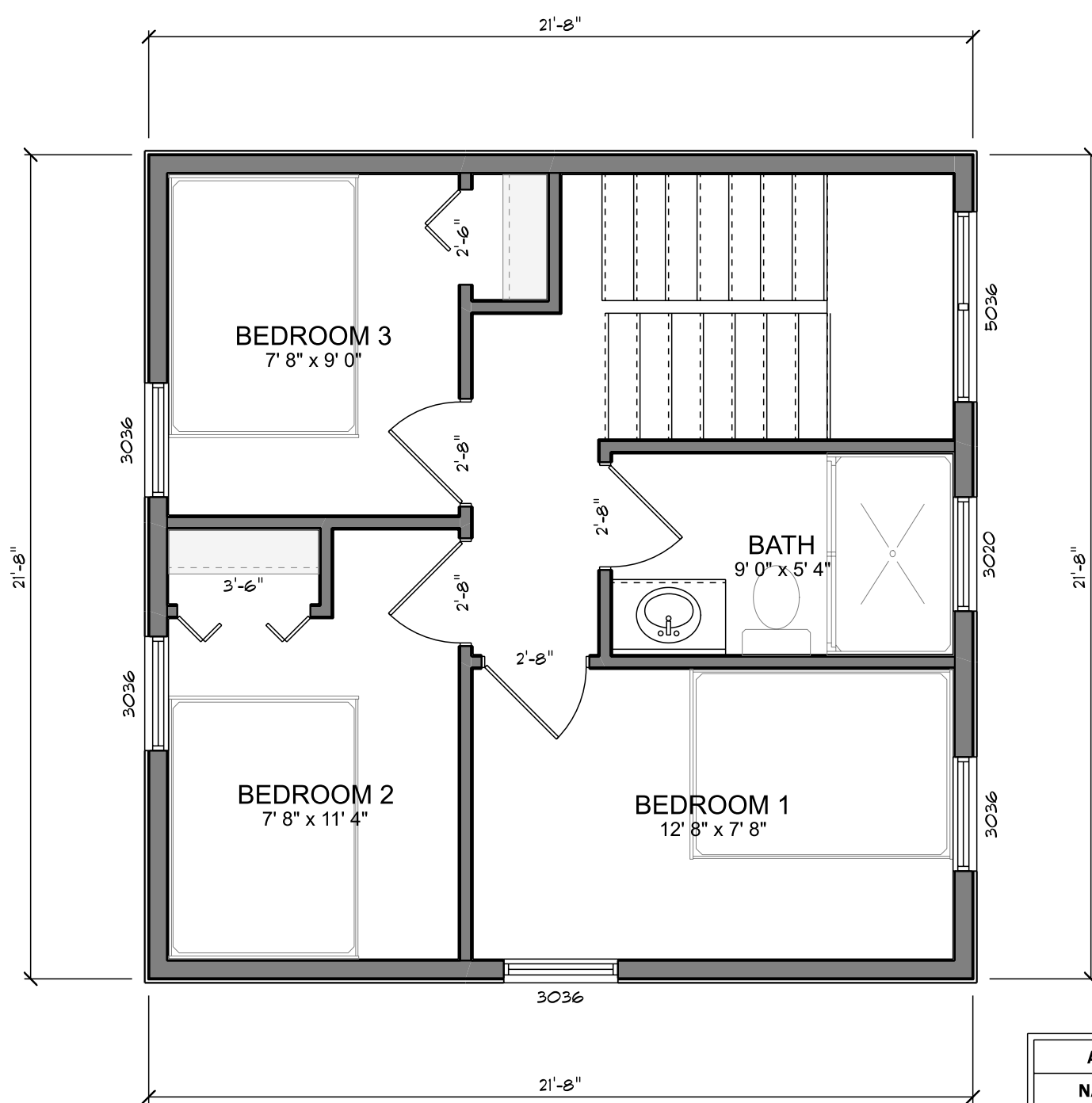
CERTIFICATE OF AUTHORIZATION NO 24GA28253500

**PLOT PLAN FOR VARIANCE**  
13 1/2 OCEAN AVENUE  
BLOCK 157 - LOT 4.03  
BOROUGH OF MANASQUAN  
MONMOUTH COUNTY  
NEW JERSEY

PROJECT NO: 21-648  
DATE: 01/05/2021  
DESIGNED BY: SMF  
CHECKED BY: MCH  
SCALE: 1"=10'  
DRAWN BY: MCH  
DIRECTOR: MCH ENGINEERING INC  
1 of 1

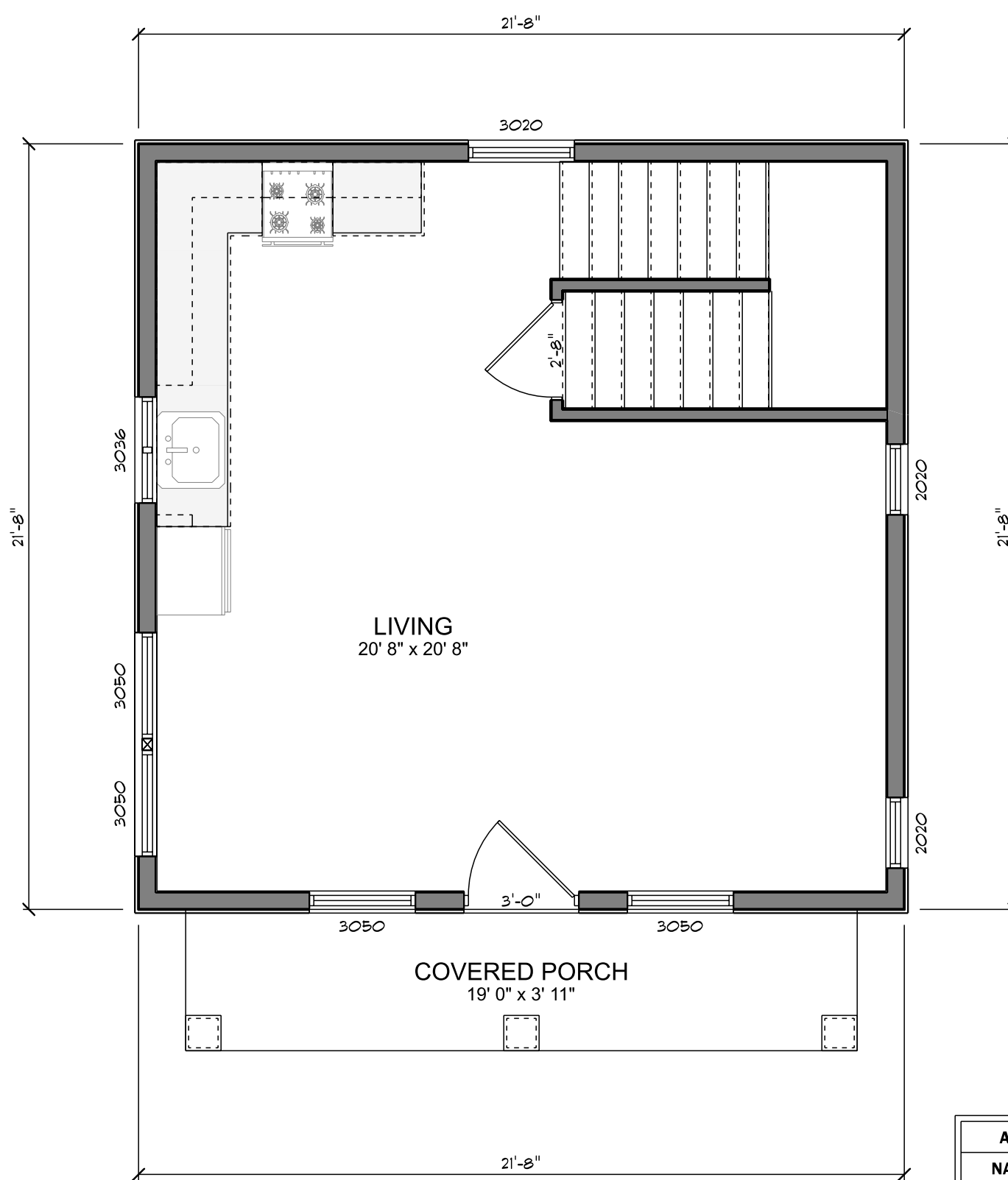


**ELEVATION**  
 SCALE: 3/16" = 1'-0"



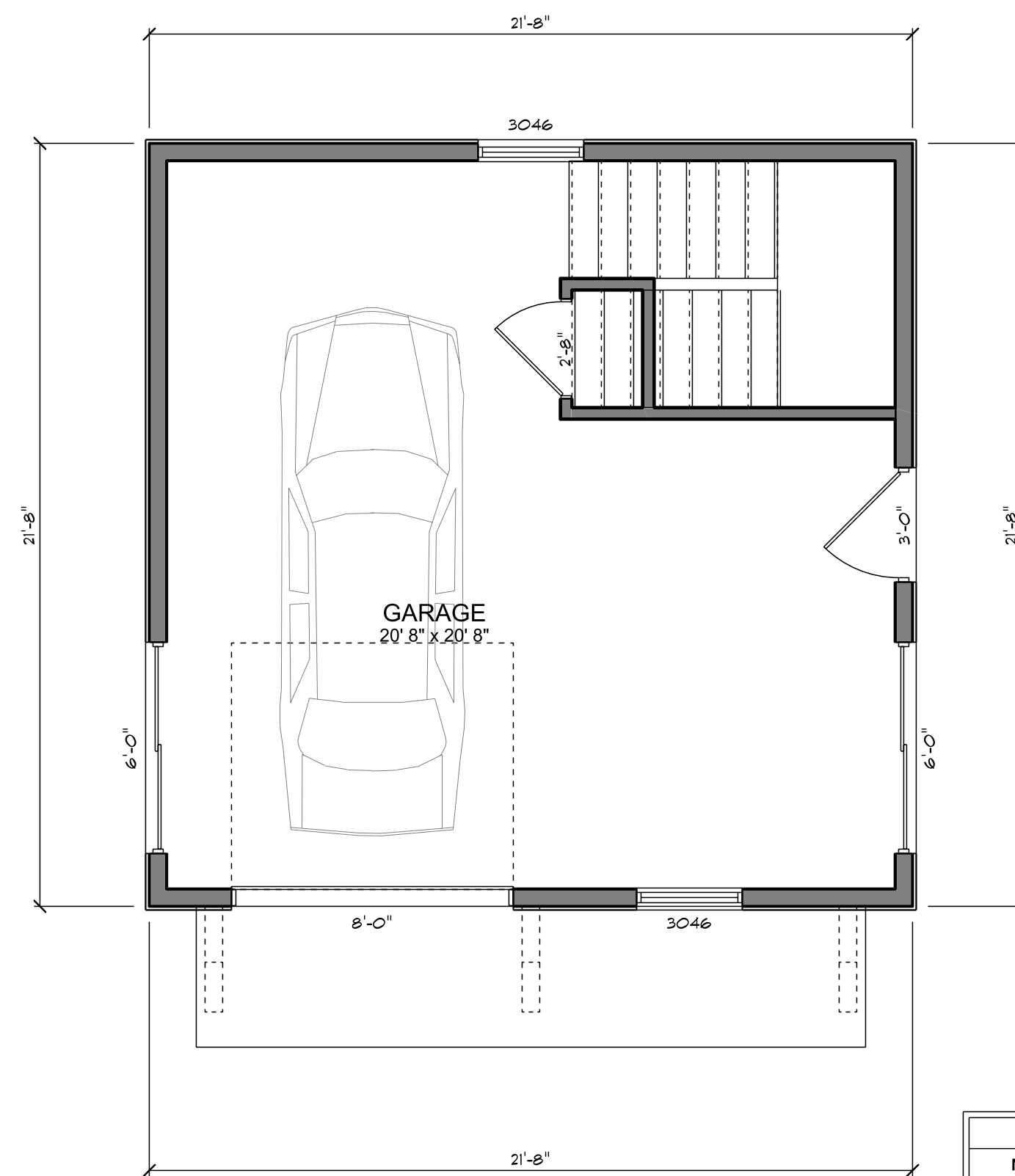
AREA SCHEDULE	
NAME	AREA
SECOND FLOOR	480.8 sq. ft.

**PROPOSED SECOND FLOOR**  
 SCALE: 1/4" = 1'-0"



AREA SCHEDULE	
NAME	AREA
FIRST FLOOR	469.4 sq. ft.

**PROPOSED FIRST FLOOR**  
 SCALE: 1/4" = 1'-0"



AREA SCHEDULE	
NAME	AREA
GROUND FLOOR	469.4 sq. ft.

**PROPOSED GROUND FLOOR**  
 SCALE: 1/4" = 1'-0"

PROJECT FOR:

LUPINSKI, MARIE  
**13-1/2 OCEAN AVE**  
 Block: 157  
 Lot: 4-03

Project Number  
 CN#021-07-003

DATE	BY
5/27/2022	BB

**Grasso Design Group**  
 design@grassodg.com  
 231 Highway 71  
 Manasquan  
 New Jersey  
 Phone: 732-528-5850  
 Fax: 732-528-9067  
 http://www.grassodg.com

**GENERAL NOTES**

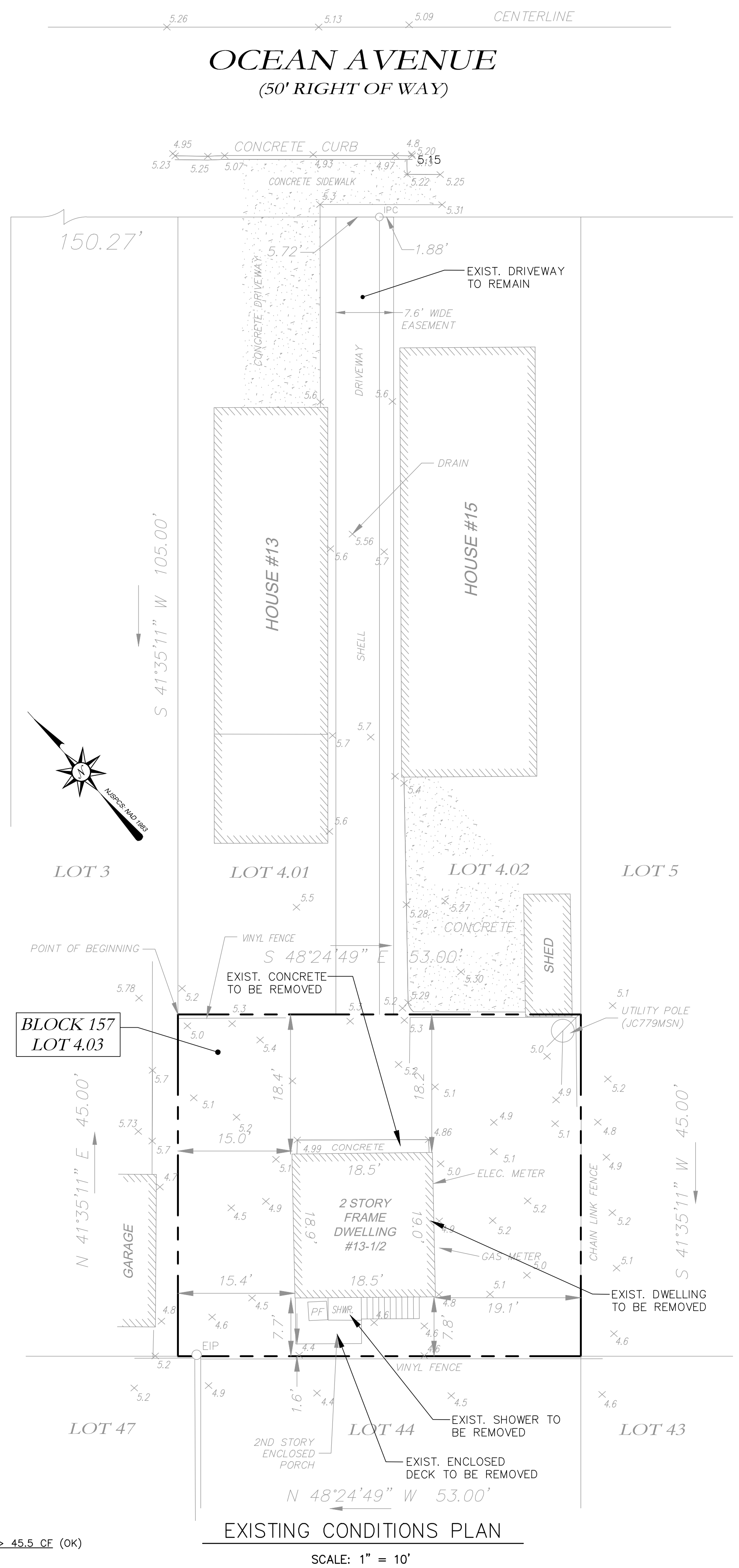
1. THE TRACT IS KNOWN AS LOT 4.03, BLOCK 157 AS SHOWN ON THE BOROUGH OF MANASQUAN, MONMOUTH COUNTY, NEW JERSEY TAX MAP SHEET #24. IT CONTAINS 2,385 SF AND IS LOCATED IN THE R-2 ONE-FAMILY RESIDENTIAL ZONE DISTRICT.
2. BOUNDARY AND TOPOGRAPHIC INFORMATION TAKEN FROM PLANS ENTITLED "SURVEY OF PROPERTY", DATED 7/17/2021, PREPARED BY EDWARDS SURVEYING & SIGNED BY STEVEN M. EDWARDS, PLS NO 24GS04323700.
3. TOPOGRAPHIC DATUM: N.A.V.D. 1988 (VERTICAL) N.A.D. 1983 (HORIZONTAL)
4. BASED ON A REVIEW OF NJDEP I-MAP INFORMATION, FRESHWATER WETLANDS DO NOT APPEAR TO BE LOCATED ON THE SUBJECT SITE.
5. PROPOSED LIMIT OF DISTURBANCE IS 2,385 SF (ENTIRE LOT).
6. EFFECTIVE BASE FLOOD ELEVATION = 8.0 (AE ZONE), PRELIMINARY BASE FLOOD ELEVATION = 9.0 (AE ZONE).
7. (2) PARKING STALLS REQUIRED AND (2) PARKING STALLS ARE PROPOSED.
8. DO NOT SCALE THESE PLANS.

**LIST OF VARIANCES**

1. THE REQUIRED LOT AREA IS 5,000 SF; WHEREAS THE EXISTING & PROPOSED LOT AREA IS 2,385 SF.
2. THE REQUIRED LOT FRONTAGE IS 50'; WHEREAS THE EXISTING AND PROPOSED LOT FRONTAGE IS 0'
3. THE MINIMUM REQUIRED FRONT YARD SETBACK IS 25'; WHEREAS THE PROPOSED FRONT YARD SETBACK FOR THE DWELLING IS 11.7' (TO COVERED PORCH)
4. THE MINIMUM REQUIRED REAR YARD SETBACK IS 20'; WHEREAS THE PROPOSED REAR SETBACK IS TO THE DWELLING IS 7.7'

**OCEAN AVENUE  
(50' RIGHT OF WAY)**

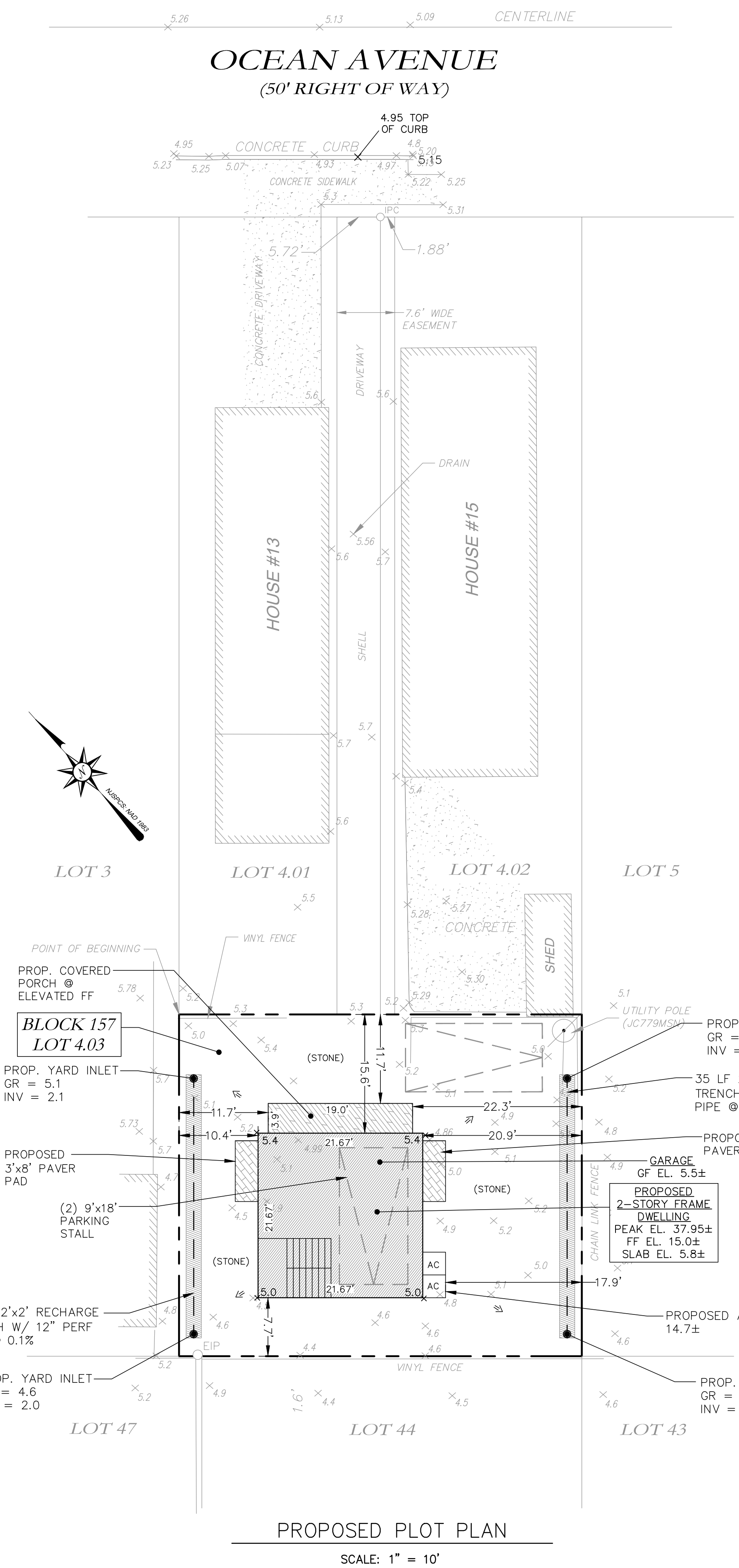
NORTH POTTER AVENUE  
(50' RIGHT OF WAY)



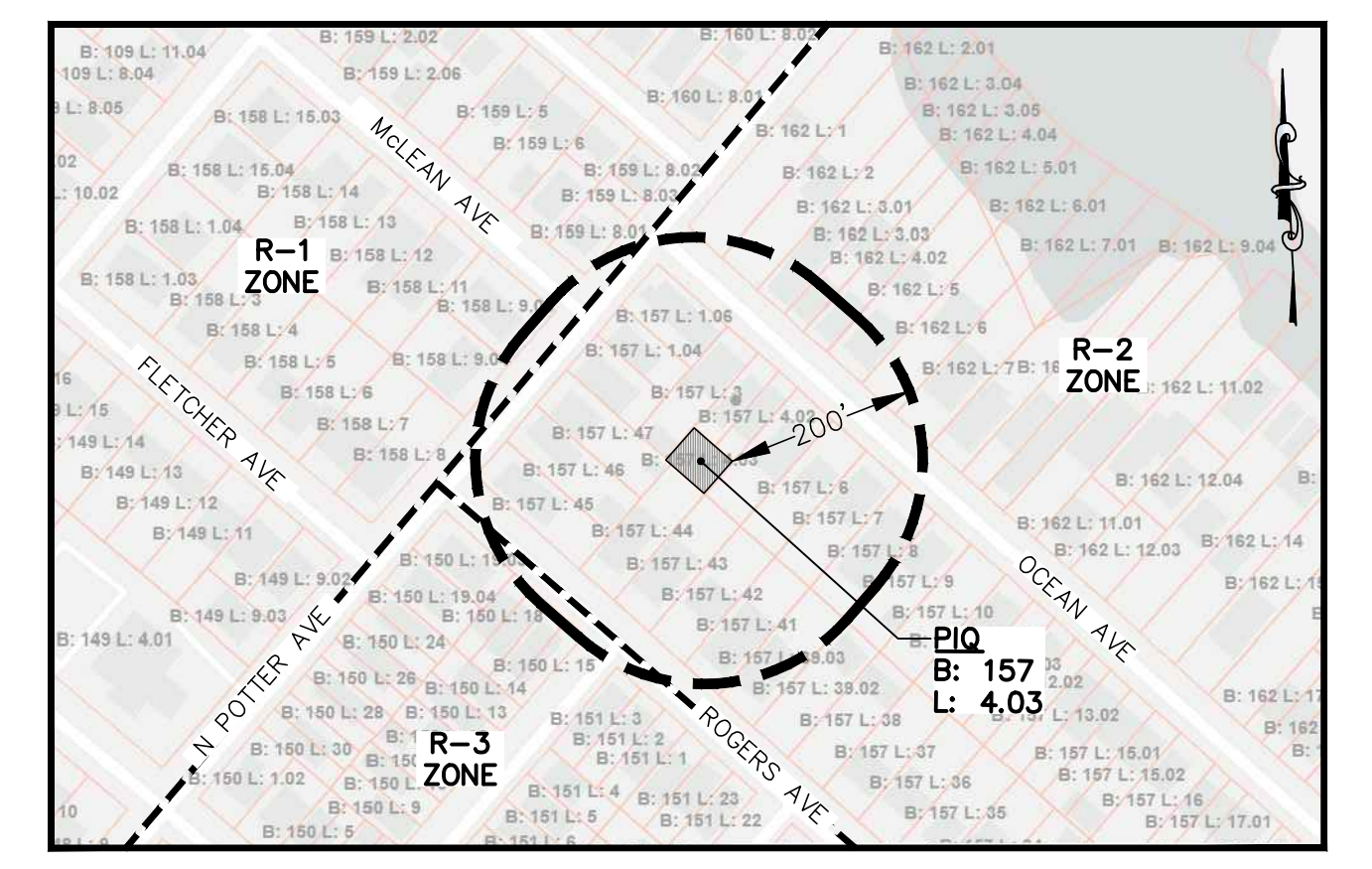
**EXISTING CONDITIONS PLAN**  
SCALE: 1" = 10'

**OCEAN AVENUE  
(50' RIGHT OF WAY)**

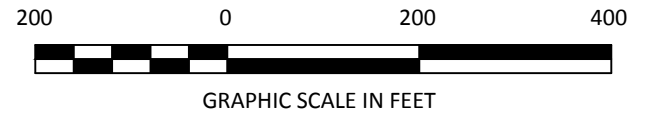
NORTH POTTER AVENUE  
(50' RIGHT OF WAY)



**PROPOSED PLOT PLAN**  
SCALE: 1" = 10'



**LOCATION MAP**  
SCALE: 1"=200'



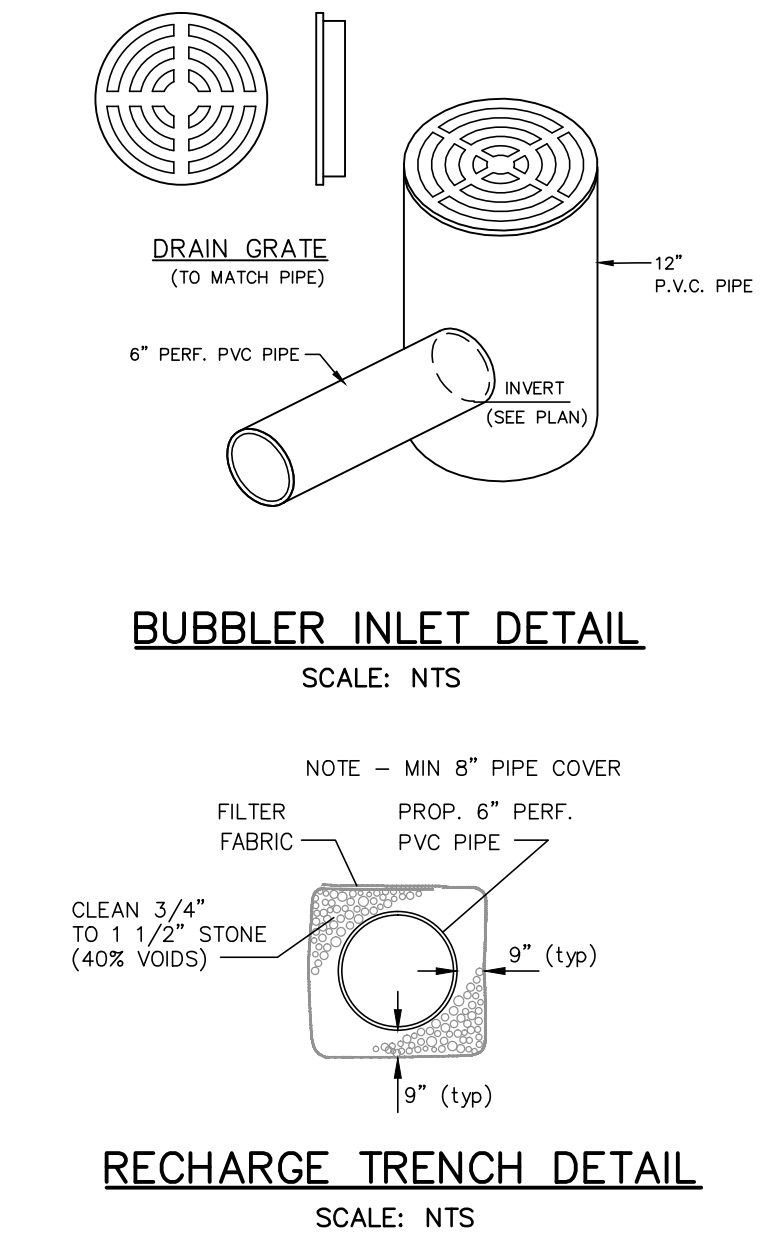
**200' PROPERTY OWNERS LIST**

Block	Lot	Property Address	Owner Name	Mailing Street	Mailing City, State, Zip Code
157	41	30 ROGERS AVE	NOTARO, MICHAEL & CHRISTINA	31 LAWRENCE RD	MADISON, NJ 07940
157	105	46 POTTER AVE N	O'CONNOR, EDWIN J & JANET M	11 RARITAN AVE	SOUTH AMBOY, NJ 08879
157	402	15 OCEAN AVE	CURTISS, JANICE BLAND, EUGENE ETAL	15 OCEAN AVE	MANASQUAN, NJ 08736
157	104	50 POTTER AVE N	MANCO, TINA L	PO BOX 514	MANASQUAN, NJ 08736
158	903	167 MCLEAN AVE	KLEPPINGER, DENISE	167 MCLEAN AVE	MANASQUAN, NJ 08736
157	106	56 POTTER AVE N	GUTIERREZ, ANTHONY & MICHELE K	56 POTTER AVE N	MANASQUAN, NJ 08736
157	44	16 ROGERS AVE	ROSE, EDWARD W JR & CATHLEEN	16 ROGERS AVE	MANASQUAN, NJ 08736
157	46	40 POTTER AVE N	GALE, RHONDA	5 VICTORIAN HILL	MANALAPAN, NJ 07726
158	904	45 POTTER AVE N	COCOZZA, LOUIS & JULIA	45 N POTTER AVE	MANASQUAN, NJ 08736
157	45	38 POTTER AVE N	GALE, RHONDA	5 VICTORIAN HILL	MANALAPAN, NJ 07726
157	8	29 OCEAN AVE	WAYAS, ANGELO & MARY	26 WASHINGTON PARK	MAPLEWOOD, NJ 07040
157	39.03	32 ROGERS AVE	DACRUG, JANET G	32 ROGERS AVE	MANASQUAN, NJ 08736
162	5	18-1/2 OCEAN AVE	MCALUGHJUN, JOHN A & JOAN M	680 BELGROVE DR	KEARNY, NJ 07032
162	7	26 OCEAN AVE	ORNER, ELIZABETH P	26 OCEAN AVE	MANASQUAN, NJ 08736
157	43	20 ROGERS AVE	MARINO, MARY JO	43 RED FOX CT	SKILLMAN, NJ 08558
157	42	24 ROGERS AVE	BIRNBAUM, DEBORAH A	636 SCHAEFER AVE	ORADELL, NJ 07649
157	47	42 POTTER AVE N	MONACO, KEVIN P & MAGGIE S	42 N POTTER AVE	MANASQUAN, NJ 08736
162	6	22 OCEAN AVE	GABELMANN, H ALAN & DONNA	22 OCEAN AVE	MANASQUAN, NJ 08736
162	402	16-16-1/2 OCEAN AVE	16 OCEAN AVENUE REAL ESTATE, LLC	26 OCEAN AVENUE	MANASQUAN, NJ 08736
162	303	12-14 OCEAN AVE	OCEAN AVENUE, LLC C/O STILES	10 OCEAN AVE	MANASQUAN, NJ 08736
157	7	25 OCEAN AVE	WYND, COLIN W & LINDA	25 OCEAN AVE	MANASQUAN, NJ 08736
157	6	23 OCEAN AVE	MOLLOY, PAUL & JUNE A	23 OCEAN AVE	MANASQUAN, NJ 08736
157	5	17 OCEAN AVE	PULEO, JOSEPH S & CAROLYN A	7 HOUSEL ROAD	WHITEHOUSE STATION, NJ 08889
157	401	13 OCEAN AVE	LUPINSKI, MARIE	97 GRETA PL	EMERSON, NJ 07630
157	3	11 OCEAN AVE	KEENAN, HAROLD E & MARY PATRICIA	11 OCEAN AVE	MANASQUAN, NJ 08736
162	301	10 OCEAN AVE	STILES, SANDRA E	10 OCEAN AVE	MANASQUAN, NJ 08736
162	1	66 POTTER AVE N	MOLTENI, EDWARD A & BARBARA J	2384 SYCAMORE ST	WALL, NJ 08736

BUILDING COVERAGE		
ITEM	EXISTING (S.F.)	PROPOSED (S.F.)
DWELLING	351	470
COVERED / ENCLOSED PORCH	52	75
<b>TOTAL</b>	<b>403</b>	<b>545</b>
<b>TOTAL AS A % of 2,385 sf</b>	<b>16.90%</b>	<b>22.85%</b>

LOT COVERAGE		
ITEM	EXISTING (S.F.)	PROPOSED (S.F.)
BUILDING COVERAGE	403	545
PAVER PADS	30	48
<b>TOTAL</b>	<b>433</b>	<b>593</b>
<b>TOTAL AS A % of 2,385sf</b>	<b>18.16%</b>	<b>24.86%</b>

ZONING REQUIREMENTS FOR RESIDENTIAL ZONE R-2			
ITEM	REQUIRED	EXISTING	PROPOSED
LOT AREA (min.)	5,000 SF	2,385 SF	* NO CHANGE (V)
LOT FRONTAGE (min.)	50'	0'	* NO CHANGE (V)
FRONT SETBACK (min.)			
PRINCIPAL	25'	18.2'	* 15.6' (V)
COVERED PORCH	25'	N/A	11.7'
REAR SETBACK (min.)			
PRINCIPAL	20'	1.6'	* 7.7' (V)
STAIRS	20'	5.0'	N/A
SIDE SETBACK (min.)			
PRINCIPAL	5' EACH	15.0' / 19.1'	10.4' / 20.9'
COVERED PORCH	5' EACH	15.4'	11.7' / 22.3'
BUILDING COVERAGE (max.)	30%	16.90%	22.85%
LOT COVERAGE (max.)	45%	18.16%	24.86%
BUILDING HEIGHT (max.)	2.5 ST. / 33'	2 ST. / < 33'	2 ST. / 33.0'



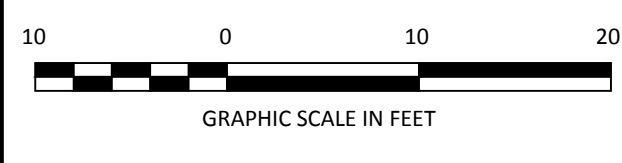
**RECHARGE CALCULATIONS**

RECHARGE REQUIRED:  
PROPOSED ROOF AREA = 545 SF

1 CF REQUIRED FOR EACH SF OF ROOF  
545 SF / 12 SF = 45.5 CF (REQUIRED)

RECHARGE VOLUME PROVIDED (EXCLUDES STONE)  
AREA OF PIPE = 3.14 x (0.25' x 0.25') = 0.2 SF PER LF  
AREA OF STONE = (2' x 2') - 0.2 SF = 3.8 SF  
AREA OF VOIDS = 3.8 SF x 0.40 = 1.5 SF PER LF  
LENGTH OF RECHARGE = 35 + 35 = 70 LF  
VOLUME OF RECHARGE = 70 LF x (0.2 sf + 1.5 sf) = 119 CF > 45.5 CF (OK)

NOTICE:  
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**MATTHEW C. HOCKENBURY**  
PROFESSIONAL ENGINEER, N.J. LIC. NO. GE49637

**MCH ENGINEERING, Inc**  
CERTIFICATE OF AUTHORIZATION NO 24GA28253500

1010 COMMONS WAY, BLDG. G  
Toms River, NJ 08755  
TEL: (732) 569-3592  
FAX: (732) 553-2998

**PLOT PLAN FOR VARIANCE**  
13 1/2 OCEAN AVENUE  
BLOCK 157 - LOT 4.03

PROJECT NO: 21-648  
DATE: 01/05/2021  
DRAWN BY: SMF  
DESIGNED BY: MCH  
CHECKED BY: MCH  
MCH ENGINEERING INC  
SHEET NO: 1 of 1

B.O.M. RECEIVED  
M&G \_\_\_\_\_ ADM \_\_\_\_\_  
CLERK \_\_\_\_\_ CFO \_\_\_\_\_

MAR 17 2022

DPW \_\_\_\_\_ CONST \_\_\_\_\_  
PD \_\_\_\_\_ OTHER \_\_\_\_\_

March 15, 2022

Mary Salerno, Secretary  
Manasquan Borough Planning Board  
201 East Main Street  
Manasquan, NJ 08736

Re: Boro File No. MSPB-R1830  
Minor Subdivision – 120 South Street LLC  
Block 70, Lot 2.04  
120 South Street  
R-2 Residential Zone  
Borough of Manasquan, Monmouth County, NJ

Dear Ms. Salerno:

As per your request, I have reviewed the above-referenced application in accordance with the provisions of the Borough Land Development Ordinance. The documents reviewed in conjunction with this application include:

1. Minor Subdivision Plan prepared by Justin Hedges, PLS, of InSite Surveying, LLC, dated August 27, 2021, last revised October 27, 2021.
2. Boundary, Topographic & Utility Survey prepared by Justin Hedges, PLS, of InSite Surveying, LLC, dated July 27, 2021, last revised August 10, 2021.

Existing Lot 2.04 contains 10,423 square feet and fronts on Marcellus Avenue and South Street. With this application, the applicant intends to create two lots, one containing 5,200 square feet with frontage on Marcellus Avenue and one containing 5,223 square feet with frontage on Marcellus Avenue and South Street.

The application is deemed complete as of March 15, 2022.

The following are our comments and recommendations regarding this application:

1. The property is located in the R-2 - Residential Zone, where the existing and proposed residential lots are permitted.
2. The following bulk ('c') variance is required as part of this application:
  - a. A minimum lot frontage of 50 feet is required, whereas a frontage of 48.29 feet is proposed for Lot 2.041.

Re: Boro File No. MSPB-R1830  
Minor Subdivision – 120 South Street LLC  
Block 70, Lot 2.04

March 15, 2022  
Sheet 2

3. The building heights are listed as “to comply” on the subdivision plan, however the allowable building height is listed as 35 feet. Since proposed Lot 2.041 is not a conforming lot due to the frontage variance, the height will be limited to 30 feet or a variance will be necessary.
4. The existing dwelling shown on the subdivision plan has already been removed from the lot.
5. The proposed subdivision plan shows a proposed 7.74’ wide future road widening easement to be dedicated to Monmouth County along South Street. The applicant has provided a Conditional Final Approval from the County which appears consistent with accepting this easement in place of a full right-of-way dedication.
6. The applicant has provided conceptual dwelling layouts and driveways locations proposed to Marcellus Avenue on the plan. The proposed improvements will need to replace the curb and sidewalk for the new driveway apron. A street excavation permit will be required for any new curb, apron and depressed curb located within the borough right-of-way.
7. The applicant should indicate if the subdivision is to be filed by map or by deed. If filed by deed, copies of the deeds and deed descriptions must be submitted to our office and the Board Attorney for review. The deed descriptions must be prepared by a Professional Land Surveyor licensed in the State of New Jersey. If it is to be filed by map, all necessary revisions to the plat must be made so that it conforms to the current Title Recordation Law requirements
8. Monuments are shown as to be set at the intersection of the proposed lot line. I suggest any monuments be set prior to the map being signed by the Board. The applicant should indicate their intent of when the monument will be set. If they are proposed to be set after the perfection of the subdivision, a bond must be posted with the Borough.
9. The subdivision plan proposes to remove the existing street tree for the proposed driveway access to Lot 2.041. Approval from the Borough Council must be obtained for the removal of this tree. I suggest any Board approval be made conditioned upon approval from the Council as the removal of the tree appears necessary for the construction of the proposed driveway.
10. The applicant should be aware that if any future construction on either of the new lots does not meet the zoning requirements (setbacks, coverage, etc.), a separate application to the Board will be required. Grading and front yard landscaping plans will also be required.
11. Separate water and sewer utility connections will be required for both of the proposed lots.
12. The proposed revised lot numbers should be reviewed and approved by the tax office.






Re: Boro File No. MSPB-R1830  
Minor Subdivision – 120 South Street LLC  
Block 70, Lot 2.04

March 15, 2022  
Sheet 3

13. All necessary outside agency approvals must be obtained for this project. These may include, but not be limited to the following:
- a. Monmouth County Planning Board – Final Approval

Should you have any questions or desire any additional information, please do not hesitate to contact me.

Very truly yours,



ALBERT D. YODAKIS, P.E., P.P.  
PLANNING BOARD ENGINEER  
BOROUGH OF MANASQUAN

ADY:jy

cc: George McGill, esq., Planning Board Attorney  
Patrick Ward, PE  
InSite Engineering, 1955 Route 34, Suite 1A, Wall, NJ 07719  
120 South Street LLC  
52 Taylor Avenue, Manasquan, NJ 08736

BOROUGH HALL  
201 EAST MAIN STREET

Incorporated December 30, 1887

732-223-0544  
Fax 732-223-1300

EDWARD G. DONOVAN  
Mayor

CONSTRUCTION DEPARTMENT

FRANK F. DiROMA  
Supervisor of Code Enforcement

THOMAS F. FLARITY  
Municipal Administrator

**BOROUGH OF MANASQUAN  
COUNTY OF MONMOUTH  
NEW JERSEY 08736**

STEVEN J. WINTERS  
Construction Official

**APPLICATION TO THE PLANNING BOARD**

\*Applicant's Name: 120 South Street, LLC

\*Applicant's Address: 52 Taylor Avenue, Manasquan, NJ 08736

\*Telephone Number: Home: 732 223 6684 Cell: 732 921 1507

\*e-mail Address: markh@herrmannconstruction.com tom@herrmannconstruction.com

\*Property Location: 120 South Street, Manasquan, NJ 08736

\*Block: 70 Lot: 2.04

\*Type of Application: Minor Subdivision with Bulk Variances  
Bulk Variance, Non-Permitted Use- Conditional Use- Subdivision- Minor Subdivision- Major-  
Site Plan Approval

\*Date of Zoning Officer's Denial Letter: January 10, 2022  
Attach Zoning Permit Application

\*Plot Plan (Survey) not older than five (5) years, clearly indicating all buildings and setbacks.

\*Is the Applicant the Landowner? No. Squan Custom Homes, LLC (an affiliated entity of the Manager Member of Applicant) is landowner

\*Does the Applicant own any adjoining land? No

\*Are the property taxes paid to date? Yes

\*Have there been any previous applications to the Planning Board concerning this property? No  
(Attach copy)

\*\*Are there any Deed Restrictions, Easements, or Covenants affecting this  
property? Yes, copy attached  
(Attach copy)

\*The applicant agrees to be responsible for and pay for the costs entailed in the review of this  
application by any experts retained by the Planning Board for advice in this matter.

[Signature]  
Signature of Applicant or Agent

2/17/22  
Date

06/2021

BOROUGH HALL  
201 EAST MAIN STREET

Incorporated December 30, 1887

732-223-0544  
Fax 732-223-1300

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Mayor

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Municipal Administrator

**BOROUGH OF MANASQUAN**  
COUNTY OF MONMOUTH  
NEW JERSEY 08736

STEVEN J. WINTERS  
Construction Official

January 10, 2022

120 South Street, LLC  
52 Taylor Avenue  
Manasquan, NJ 08736

Re: Block: 70 Lot: 2.04 Zone: R-2

Dear Sir or Madam:

On this date we reviewed your application for the following project.

Remove all of the buildings and structures on the property, subdivide Block: 70, Lot: 2.04 into two lots in the R-2 Zone. (Proposed lot: 2.041 – 4,917.3s.f.) (Proposed lot: 2.042 – 5,200s.f.) and construct a new single family dwelling on each lot.

Survey prepared by Justin Hedges on July 27, 2021. Minor subdivision plot plan prepared by Justin Hedges on October 27, 2021. Conceptual building plans prepared by Paul Grabowski on October 15, 2021.

**Application denied for the following reason(s):**

**Proposed Lot 2.041**

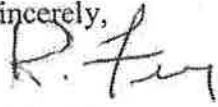
Section 35-9.4 - Lot Frontage – 50ft. Required  
48.28ft. Proposed

“ - Building Coverage – 30% Permitted  
31.1% Proposed

“ - Building Height – 30ft. Permitted  
34.9ft. Proposed

If you have any questions, please call me at 732-223-0544, ext. 256

Sincerely,



Richard Furey  
Zoning/Code Enforcement Officer

**DESCRIPTION OF A ROAD  
WIDENING EASEMENT OVER  
PROPOSED LOT 2.041, BLOCK 70  
BOROUGH OF MANASQUAN  
MONMOUTH COUNTY  
NEW JERSEY**



**ALL** that certain lot, tract or parcel of land, situate in Borough of Manasquan, Monmouth County, New Jersey, being known as part of Lot 2.04, Block 70 as shown on the Tax Map of the Borough of Manasquan and being described as follows:

**ALSO** known and legally described as a 7.74' wide easement to Monmouth County for Future Road widening, as shown on a map entitled, "120 South Street Minor Subdivision, Block 70, Lot 2.04, 120 South Street, Borough of Manasquan, Monmouth County, NJ," by Insite Engineering, LLC., dated 8/27/21 and revised 10/27/21.

**BEGINNING** at a point in the Southerly right of way line of Marcellus Avenue (60' R.O.W.), said point being distant 10.00 feet East from the intersection formed by said Southerly line of Marcellus Avenue, extended, with the Easterly right of way line of South Street (45' R.O.W.) and running; thence,

- 1) Along said line of Marcellus Avenue, South 51 degrees 21 minutes 56 seconds East, a distance of 22.74 feet to a point on a curve; thence
- 2) Along said curve, to the left, having a radius of 25.00 feet and an arc length of 39.27 feet to a point of tangency, thence
- 3) South 38 degrees 38 minutes 04 seconds West, a distance of 79.00 feet to a point; thence
- 4) North 51 degrees 21 minutes 56 seconds West, a distance of 7.74 feet to a point in said right of way line of South Street; thence
- 5) Along said line, North 38 degrees 38 minutes 04 seconds East, a distance of 94.00 to a point of curvature; thence
- 6) Along a curve to the right, having a radius of 10.00 feet and an arc length of 15.71 feet to the true point and place of **BEGINNING**.

**CONTAINING** 918 Square feet or 0.021 Acres.

11/11/21  
DATE

JUSTIN J. HEDGES  
NJ PLS NO. GS43362

**InSite Surveying, LLC**  
1955 Route 34; Suite 1A • Wall, NJ 07719  
732-531-7100 (ph) • 732-531-7344 (fx)  
www.InSiteSurveying.net

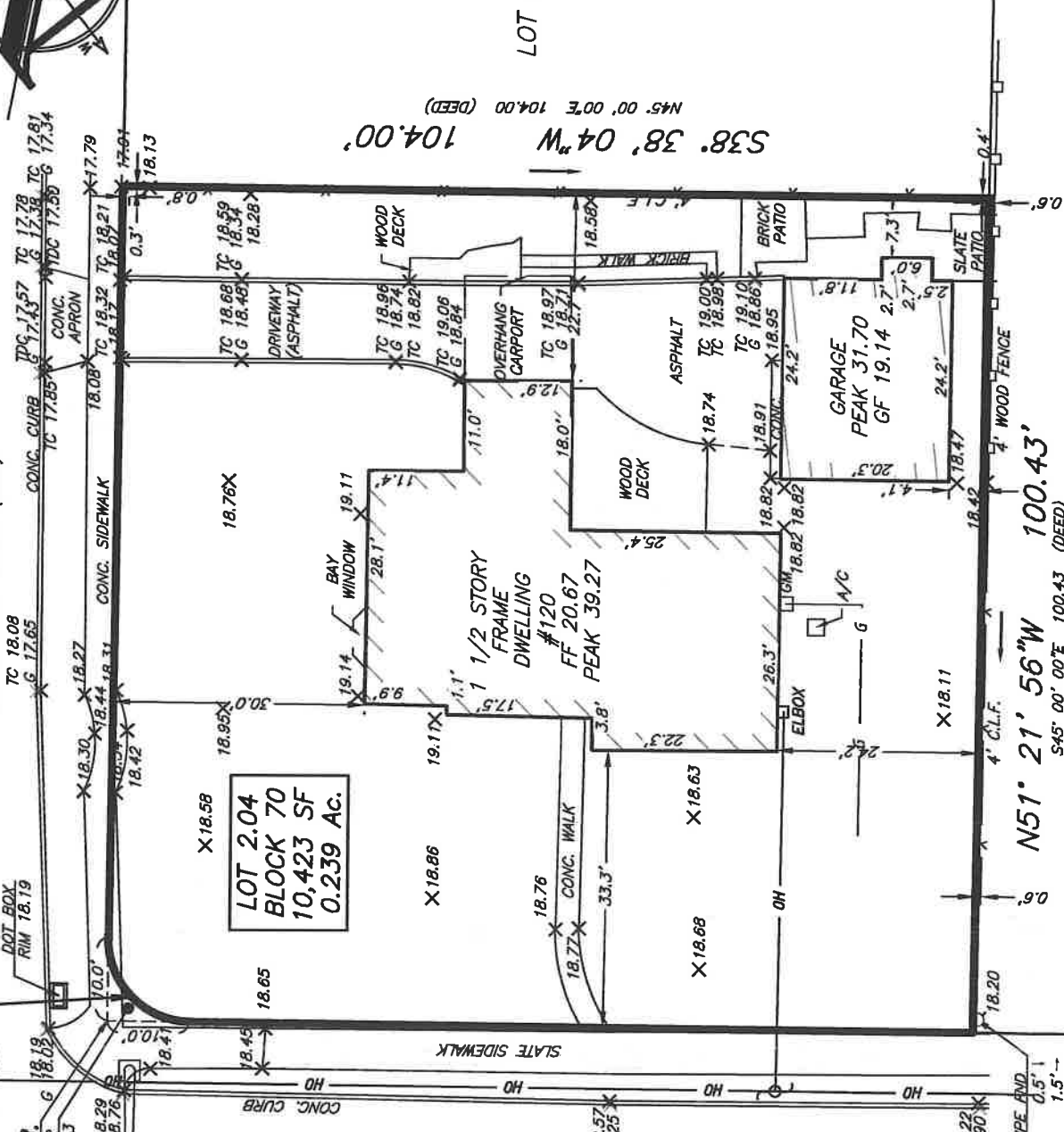
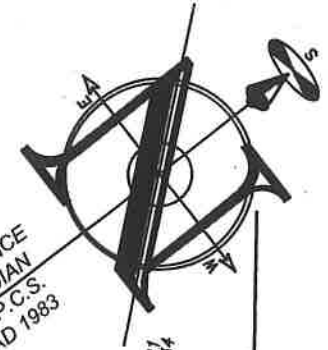
**MARCELLUS AVENUE (60' R.O.W.)**  
(37' WIDE BIT. CONC.)

$R = 10.00' L = 15.71'$   
 $\Delta = 90^{\circ} 00' 00''$

$S51^{\circ} 21' 56'' E$   
 $S45^{\circ} 00' 00'' W 100.43$  (DEED)  
**90.43'**

**SOUTH STREET (45' R.O.W.)**  
(A.K.A. COUNTY ROUTE 20)

$N38^{\circ} 38' 04'' E$   
 $S45^{\circ} 00' 00'' W 104.00$  (DEED)  
**94.00'**



**CERTIFIED TO:**

SQUAN CUSTOM HOMES, LLC  
OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY  
HENDERSON AND HENDERSON, P.C.

**SURVEY NOTES:**

THIS IS TO CERTIFY THAT THIS SURVEY IS ACCURATE, AND THAT THIS DRAWING IS A TRUE REPRESENTATION OF ACTUAL CONDITIONS EXISTING ON THE PROPERTY, EXCEPT SUCH EASEMENTS, IF ANY, THAT MAY BE LOCATED BELOW THE SURFACE OF THE LANDS, OR ON THE SURFACE OF THE LANDS AND NOT VISIBLE.

A WRITTEN WAIVER AND DIRECTION NOT TO SET CORNER MARKERS HAS BEEN OBTAINED FROM THE ULTIMATE USER PURSUANT TO P.L.2003.C.14 (C45-8-36.3) AND N.J.A.C. 13-40 - 5.1(D).

THIS SURVEY WAS PREPARED WITH THE BENEFIT OF TITLE REPORT NO. TA-29457 AND IS SUBJECT TO ANY EASEMENTS AND RESTRICTIONS CONTAINED THEREIN.

ALL EXISTING UTILITIES ARE APPROXIMATE PER MARKOUT AND VISIBLE FIELD EVIDENCE. ALL UTILITIES SHALL BE FIELD VERIFIED PRIOR TO EXCAVATION.

THIS SURVEY HAS NOT DETERMINED THE PRESENCE OF WETLANDS AT THE SITE.

SUBJECT PROPERTY IS NOT IN A FEMA FLOOD ZONE.

**SURVEY MAP REFERENCES:**

A MAP ENTITLED, "INTERSECTION IMPROVEMENTS AT COUNTY ROUTE 20, SOUTH STREET, AND MARCELLUS AVENUE / LAKEWOOD ROAD IN THE BOROUGH OF MANASQUAN, MONMOUTH COUNTY, NEW JERSEY", BY LGA ENGINEERING INC., DATED 12-04-07.

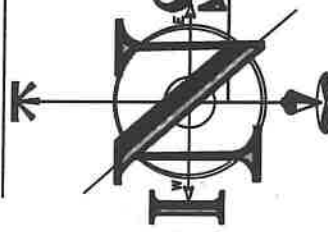
**FILED MAP REFERENCES:**

A MAP ENTITLED, "MAP OF SEA VIEW PROPERTY, 158, BUILDING LOTS, THE N.W. MORRIS PROPERTY, BOROUGH OF MANASQUAN, MONMOUTH COUNTY, NEW JERSEY," FILED IN THE MONMOUTH COUNTY CLERK'S OFFICE, DATED MAY 1, 1876 AS CASE NO. 30 SHEET NO. 22.

DEED REFERENCES:  
DB 5105 PG 0505  
DB 8743 PG 9847  
DB OR-8743 PG 9847

ALL ELEVATIONS ARE RELATIVE TO THE NORTH AMERICAN DATUM OF 1988 (NAVD88).

**BOUNDARY TOPOGRAPHIC & UTILITY SURVEY**



InSite Surveying, LLC  
CERTIFICATE OF AUTHORIZATION:  
24GA28290100  
1955 ROUTE 34, SUITE 1A  
WALL, NJ 07719  
732-531-7100 (Ph) 732-531-7344 (Fax)  
InSite@InSiteSurveying.net  
www.InSiteSurveying.net

**Site Location:**

120 SOUTH STREET  
LOT 2.04, BLOCK 70  
BOROUGH OF MANASQUAN  
MONMOUTH COUNTY, NEW JERSEY

CAUTION: IF THIS DOCUMENT DOES NOT CONTAIN THE SIGNATURE AND RAISED SEAL OF THE PROFESSIONAL, IT IS NOT AN ORIGINAL AND MAY HAVE BEEN ALTERED

*Justin J. Hedges*  
**JUSTIN J. HEDGES**

PROFESSIONAL LAND SURVEYOR NJ LIC. NO. GS43362

InSite Project No.  
21-S705-03  
Drawing No.  
21-S705

Date  
07/27/21

Scale  
1" = 20'

Drawn By:  
GS / BMW

Checked By:  
JS

Revisions  
8/10/21 - BMW - CERTS

**DESCRIPTION OF PROPERTY**  
**PROPOSED LOT 2.041, BLOCK 70**  
**BOROUGH OF MANASQUAN**  
**MONMOUTH COUNTY**  
**NEW JERSEY**



**ALL** that certain lot, tract or parcel of land, situate in Borough of Manasquan, Monmouth County, New Jersey, being known as part of Lot 2.04, Block 70 as shown on the Tax Map of the Borough of Manasquan and being described as follows:

**ALSO** known and legally described as Proposed Lot 2.041, Block 70, as shown on a map entitled, "120 South Street Minor Subdivision, Block 70, Lot 2.04, 120 South Street, Borough of Manasquan, Monmouth County, NJ," by Insite Engineering, LLC., dated 8/27/21 and revised 10/27/21.

**BEGINNING** at a point in the Southerly right of way line of Marcellus Avenue (60' R.O.W.), said point being distant 10.00 feet East from the intersection formed by said Southerly line of Marcellus Avenue, extended, with the Easterly right of way line of South Street (45' R.O.W.), extended, and running; thence,

- 1) Along said line of Marcellus Avenue, South 51 degrees 21 minutes 56 seconds East, a distance of 40.43 feet to a point; thence
- 2) South 38 degrees 38 minutes 04 seconds West, a distance of 104.00 feet to a point; thence
- 3) North 51 degrees 21 minutes 56 seconds West, a distance of 50.43 feet to a point in said right of way line of South Street; thence
- 4) Along said line, North 38 degrees 38 minutes 04 seconds East, a distance of 94.00 to a point of curvature, thence
- 5) Along a curve to the right, having a radius of 10.00 feet and an arc length of 15.71 feet to the true point and place of **BEGINNING**.

**CONTAINING** 5,223 Square feet or 0.120 Acres.

**SUBJECT TO** a future road widening easement.

11/11/21

DATE

JUSTIN J. HEDGES  
NJ PLS NO. GS43362

**InSite Surveying, LLC**

1955 Route 34; Suite 1A • Wall, NJ 07719  
732-531-7100 (ph) • 732-531-7344 (fx)  
www.InSiteSurveying.net

**DESCRIPTION OF PROPERTY**  
**PROPOSED LOT 2.042, BLOCK 70**  
**BOROUGH OF MANASQUAN**  
**MONMOUTH COUNTY**  
**NEW JERSEY**



**ALL** that certain lot, tract or parcel of land, situate in Borough of Manasquan, Monmouth County, New Jersey, being known as part of Lot 2.04, Block 70 as shown on the Tax Map of the Borough of Manasquan and being described as follows:


**ALSO** known and legally described as Proposed Lot 2.042, Block 70, as shown on a map entitled, "120 South Street Minor Subdivision, Block 70, Lot 2.04, 120 South Street, Borough of Manasquan, Monmouth County, NJ," by Insite Engineering, LLC., dated 8/27/21 and revised 10/27/21.

**BEGINNING** at a point in the Southerly right of way line of Marcellus Avenue (60' R.O.W.), said point being distant 50.43 feet East from the intersection formed by said Southerly line of Marcellus Avenue, extended, with the Easterly right of way line of South Street (45' R.O.W.), extended, and running; thence,

- 1) Along said line of Marcellus Avenue, South 51 degrees 21 minutes 56 seconds East, a distance of 50.00 feet to a point; thence
- 2) South 38 degrees 38 minutes 04 seconds West, a distance of 104.00 feet to a point; thence
- 3) North 51 degrees 21 minutes 56 seconds West, a distance of 50.00 feet to a point; thence
- 4) North 38 degrees 38 minutes 04 seconds East, a distance of 104.00 to the true point and place of **BEGINNING**.

**CONTAINING** 5,200 Square feet or 0.119 Acres.

11/11/21  
DATE

  
JUSTIN J. HEDGES  
NJ PLS NO. GS43362

**InSite Surveying, LLC**  
1955 Route 34; Suite 1A • Wall, NJ 07719  
732-531-7100 (ph) • 732-531-7344 (fx)  
www.InSiteSurveying.net



**GENERAL NOTES:**

- SUBJECT PROPERTY**  
BLOCK 70, LOT 2.04; OF TAX MAP SHEET #14; 120 SOUTH STREET, BOROUGH OF MANASQUAN, MONMOUTH COUNTY, NJ
- OWNER & APPLICANT**  
SQUAN CUSTOM HOMES, LLC  
52 TAYLOR AVENUE  
MANASQUAN, NJ 08736
- PURPOSE OF THIS PLAN**  
THIS PLAN HAS BEEN PREPARED TO SUPPORT AN APPLICATION TO THE BOROUGH OF MANASQUAN AND THE MONMOUTH COUNTY PLANNING BOARD FOR MINOR SUBDIVISION APPROVAL.
- SURVEY DATA**  
SURVEY INFORMATION CONTAINED HEREON IS BASED ON A FIELD SURVEY PERFORMED BY INSITE SURVEYING, LLC, ENTITLED "BOUNDARY & TOPOGRAPHIC SURVEY BLOCK 70 LOT 2.04; 120 SOUTH STREET"; LAST REVISED 09/10/21.
- PROPOSED LOT NUMBERS**  
PROPOSED LOT NUMBERS SHALL BE VERIFIED BY THE BOROUGH OF MANASQUAN TAX ASSESSOR AS A CONDITION OF APPROVAL.
- SUBDIVISION**  
THIS SUBDIVISION TO BE FILED BY DEED.
- BASE FLOOD ELEVATION**  
ACCORDING TO FEMA'S EFFECTIVE FIRM ENTITLED "FIRM - FLOOD INSURANCE RATE MAP, MONMOUTH COUNTY, NEW JERSEY (ALL JURISDICTIONS)"; COMMUNITY PANEL #40250456F, DATED 8/25/09, THE SITE IS NOT LOCATED IN A FLOOD ZONE. ACCORDING TO FEMA'S PRELIMINARY FIRM ENTITLED "FIRM - FLOOD INSURANCE RATE MAP, MONMOUTH COUNTY, NEW JERSEY (ALL JURISDICTIONS)"; COMMUNITY PANEL #340250456G, DATED 01/01/15, THE SITE IS NOT LOCATED IN A FLOOD ZONE. BOTH THE EFFECTIVE AND PRELIMINARY FEMA MAPS REFERENCE THE NAVD83 VERTICAL DATUM.
- CLOSURE**  
BEARINGS AND DISTANCES ARE WITHIN A LIMIT OF ERROR OF NOT MORE THAN ONE (1) PART IN TEN THOUSAND (10,000).
- VERIFICATION OF UTILITIES**  
EXISTING UTILITIES SHOWN ON THIS SITE PLAN ARE APPROXIMATE PER THE REFERENCED SURVEY. THE CONTRACTOR SHALL PERFORM SAMPLE TEST PITS TO DETERMINE EXACT LOCATIONS. ALL EXISTING UTILITIES TO REMAIN AND BE UTILIZED, THE CONTRACTOR SHALL CONFIRM ADEQUACY AND CONDITION OF ALL EXISTING UTILITIES.
- UTILITIES**  
BOTH NEWLY CREATED LOTS SHALL BE SERVED BY PUBLIC WATER AND SEWER.
- PARKING**  
ANY PROPOSED DEVELOPMENT SHALL PROVIDE THE MINIMUM NUMBER OF OFF-STREET PARKING SPACES IN ACCORDANCE WITH THE RESIDENTIAL SITE IMPROVEMENT STANDARDS.
- FUTURE DRIVEWAYS**  
PER § 2-1.1 OF THE COUNTY'S DEVELOPMENT REGULATIONS, ACCESS TO SOUTH STREET IS NOT PERMITTED. ACCESS SHALL BE FROM THE MUNICIPAL ROAD (MARCELLUS ROAD) ONLY.
- INDIVIDUAL LOT DEVELOPMENT PLANS**  
INDIVIDUAL ZONING & GRADING PLANS ARE REQUIRED FOR THE FUTURE DEVELOPMENT OF DWELLINGS ON EACH PROPOSED LOT. DRYWELLS SHALL BE PROVIDED FOR EACH DWELLING AND SHALL BE SIZED TO STORE ONE INCH (1") OF RAINFALL OVER THE PROPOSED ROOF AREA. DEPTH TO SEASONAL HIGH GROUNDWATER SHALL BE DETERMINED BY A LICENSED PROFESSIONAL ENGINEER PRIOR TO DRYWELL DESIGN. ALL EXISTING SITE IMPROVEMENTS ARE TO BE REMOVED.
- COORDINATES**  
THE COORDINATES SHOWN SHALL NOT BE USED TO ESTABLISH BOUNDARY LINES ON THE GROUND. BEARINGS AND DISTANCES ARE WITHIN A LIMIT OF ERROR OF NOT MORE THAN ONE (1) PART IN TEN THOUSAND (10,000).

**120 SOUTH STREET MINOR SUBDIVISION**

**PROJECT INFORMATION**

PROJECT NAME: 120 SOUTH STREET MINOR SUBDIVISION

PROJECT LOCATION: BLOCK 70, LOT 2.04; 120 SOUTH STREET, BOROUGH OF MANASQUAN, MONMOUTH COUNTY, NJ

OWNER: SQUAN CUSTOM HOMES, LLC, 52 TAYLOR AVENUE, MANASQUAN, NJ 08736

APPLICANT'S PROFESSIONALS

SURVEYOR: INSITE SURVEYING, LLC, 1955 ROUTE 34, SUITE 1A, WALL, NJ 07719

ATTORNEY: HENDERSON & HENDERSON, 52 ABE VOORHEES DRIVE, MANASQUAN, NJ 08736, P: 732-223-0800, F: 732-223-3487

I CERTIFY THAT TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP AND SURVEY DATED 08/27/21, LAST REVISED 09/10/21, MEETS THE MINIMUM SURVEY DETAIL REQUIREMENTS OF THE STATE BOARD OF PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND THE MAP HAS BEEN MADE UNDER MY SUPERVISION, AND COMPLIES WITH THE PROVISIONS OF THE "MAP FILING LAW" AND THAT THE OUTBOUND CORNER MARKERS AS SHOWN HAVE BEEN FOUND OR SET.

**JUSTIN I. WEDGES, PLS**  
PROFESSIONAL LAND SURVEYOR  
N.J. LIC. NO. 05-0382

**INSITE ENGINEERING, LLC**  
SINCE 2003

CALL BEFORE YOU DIG!  
NJ ONE CALL: 800-772-1000

INSITE ENGINEERING, LLC  
CERTIFICATE OF AUTHORIZATION: 24GA28083200  
1955 ROUTE 34, SUITE 1A, WALL, NJ 07719  
732-531-7100 (PH) 732-531-7344 (FAX)  
insite@insiteeng.net www.insiteeng.net

CAUTION: IF THIS DOCUMENT DOES NOT CONTAIN THE SIGNATURE AND RAISED SEAL OF THE PROFESSIONAL, IT IS NOT AN ORIGINAL AND MAY HAVE BEEN ALTERED.

**PATRICK R. WARD, PE, PP**  
PROFESSIONAL ENGINEER, PLANNER  
N.J.P.E. #4690579000 N.J.P.P. #3310628800

**REVISIONS**

REV#	DATE	DESCRIPTION
1	08/27/21	REVISED PER CONDITIONAL FINAL APPROVAL
2	09/10/21	INITIAL RELEASE

SCALE: 1"=10'  
DATE: 08/27/21  
JOB #: 21-1766-01  
CHECKED BY: JJH  
CAD ID: 21-1766-01-1

NOT FOR CONSTRUCTION

APPROVED BY: [Signature]

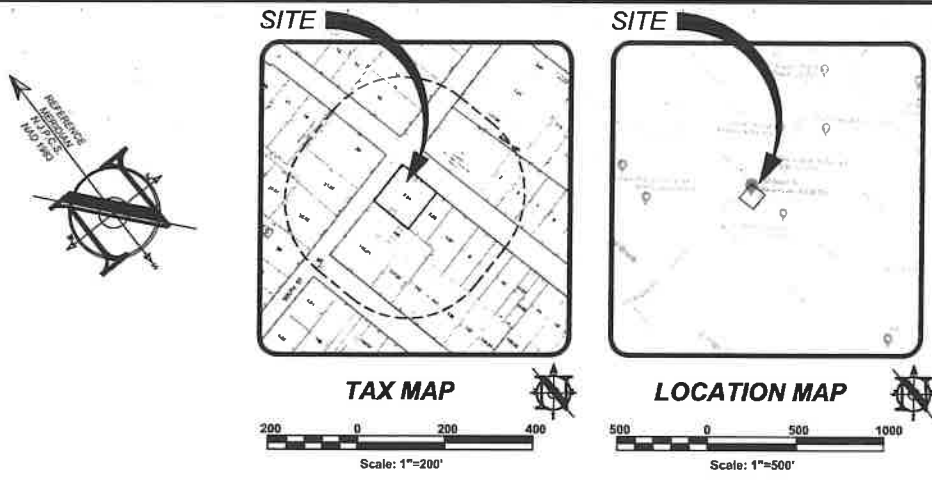
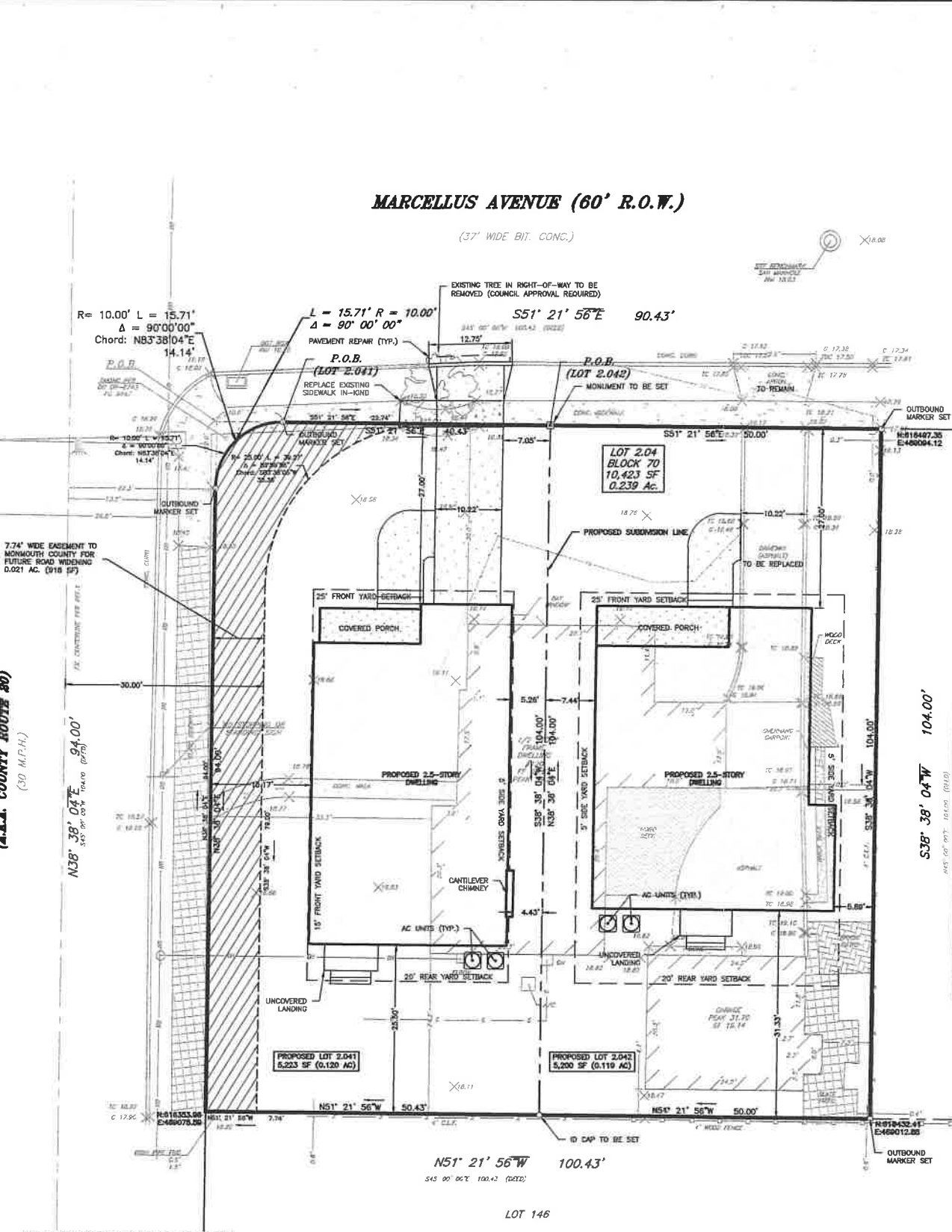
FOR CONSTRUCTION

PLANNING INFORMATION

DRAWING TITLE: MINOR SUBDIVISION

SHEET TITLE: SUBDIVISION PLAT

1 OF 1



**ZONING COMPLIANCE CHART**  
R-2 (ONE-FAMILY RESIDENTIAL) ZONE (§35-5.2)

USE: PERMITTED

ORD SECTION	STANDARD	REQUIRED	EXISTING	PROPOSED LOT 2.041	PROPOSED LOT 2.042	COMPLIES
SCHED. 1	MIN. LOT AREA (SF)	5,000	10,423 (0.239 AC)	5,223 (0.120 AC)	5,200 (0.119 SF)	YES
SCHED. 1	MIN. LOT FRONTAGE (FT)	50	80.43	150.14	50.00	YES
SCHED. 1	MIN. FRONT YARD SETBACK (FT)	25	33.3 (1)	15.17 (V)	N/A	NO
SCHED. 1	MIN. REAR YARD SETBACK (FT)	25	30.0	27.00	27.00	YES
SCHED. 1	MIN. SIDE YARD SETBACK (ONE SIDE) (FT)	5	22.7 (2)	5.36	5.88	YES
SCHED. 1	MIN. SIDE YARD SETBACK (BOTH SIDES) (FT)	15	26.0	N/A	13.33	YES
SCHED. 1	MAX. BUILDING HEIGHT (FT)	35	(4)	TO COMPLY	TO COMPLY	YES
SCHED. 1	MAX. BUILDING HEIGHT (STOREYS)	2.5	1.5	2.5	2.5	YES
35-7.2.A	MAX. DRIVEWAY WIDTH AT CURBLINE (FT)	20	12.6	12.75	NO CHANGE	YES
35-7.2.E	MIN. DRIVEWAY SIDE YARD SETBACK (FT)	1	10.8	7.65	NO CHANGE	YES
35-6.2.B(1)	ACCESSORY STRUCTURE	1	2	1 (X)	1 (X)	YES
35-6.2.B(2)	MAX. NUMBER OF PRIVATE CARPORTS OR GARAGES	1	2 (N)	1 (X)	1 (X)	YES
35-6.2.B(3)	ACCESSORY STRUCTURE - GARAGE	1	2 (N)	1 (X)	1 (X)	YES
35-6.2.B(4)	ALLOWABLE YARD LOCATION	SIDE/REAR	SIDE/REAR	N/A (X)	N/A (X)	YES
35-6.2.B(5)	MIN. REAR YARD SETBACK (FT)	5	4.1 (N)	N/A	N/A	YES
35-6.2.B(6)	MIN. SIDE YARD SETBACK (FT)	5	7.3	N/A	N/A	YES
35-6.2.B(7)	MAX. BUILDING HEIGHT (FT)	15	10.9	N/A	N/A	YES
35-6.2.B(8)	MAX. BUILDING COVERAGE (SF)	600	506.8	N/A	N/A	YES
35-6.2.B(9)	ACCESSORY STRUCTURE - CARPORT	1	2 (N)	1 (X)	1 (X)	YES
35-6.2.B(10)	ALLOWABLE YARD LOCATION	SIDE/REAR	SIDE	N/A	N/A	YES
35-6.2.B(11)	MIN. REAR YARD SETBACK (FT)	5	49.7	N/A	N/A	YES
35-6.2.B(12)	MIN. SIDE YARD SETBACK (FT)	5	10.9	N/A	N/A	YES
35-6.2.B(13)	MAX. BUILDING HEIGHT (FT)	15	(4)	N/A	N/A	YES
35-6.2.B(14)	MAX. BUILDING COVERAGE (SF)	600	181.8	N/A	N/A	YES
SCHED. 1	LOT COVERAGE	40	19.3 (2.012 SF)	29.24 (1,527 SF)	29.92 (1,556 SF)	YES
SCHED. 1	MAX. BUILDING COVERAGE (%)	40	24.9 (2,628 SF)	38.11 (1,991 SF)	38.39 (1,996 SF)	YES

(N) EXISTING NON-COMPLIANCE (X) IMPROVED CONDITION (V) VARIANCE / NON-COMPLIANCE ELIMINATED (E) EXISTING VARIANCE (P) PROPOSED VARIANCE (W) PROPOSED VARIANCE WHICH WAS NOT MADE AVAILABLE TO THE OFFICE (1) THIS PERTAINS TO AN EXISTING STRUCTURE WHICH WAS NOT MADE AVAILABLE TO THE OFFICE (2) 35-11.8(h) ENTRY STEPS OR STAIRS MAY BE LOCATED IN THE REQUIRED FRONT AND REAR SETBACK AREAS. (3) 35-11.8(h) ROOF OVERHANGS AND CHIMNEYS MAY PROJECT NOT MORE THAN 18 INCHES INTO THE REQUIRED SIDE SETBACK AREA.

**CERTIFICATIONS**

PLANNING BOARD

CLASSIFIED AND APPROVED AS A MINOR SUBDIVISION BY THE BOROUGH OF MANASQUAN PLANNING BOARD

BOARD CHAIRPERSON

ATTEND:

BOARD ENGINEER DATE

THIS PLAN (OR A DEED DESCRIBING THIS SUBDIVISION) MUST BE FILED IN THE OFFICE OF THE CLERK OF MONMOUTH COUNTY ON OR BEFORE WHICH DATE IS ONE HUNDRED NINETY (90) DAYS FROM THE SIGNATURE OF THE MAP FOR FINAL.

BOARD SECRETARY DATE

**MUNICIPAL ENGINEER**

I HAVE CAREFULLY EXAMINED THIS MAP AND TO THE BEST OF MY KNOWLEDGE AND BELIEF IT COMPLIES WITH THE PROVISIONS OF THE TOWNSHIP ORDINANCES AND REQUIREMENTS APPLICABLE THEREIN.

MUNICIPAL ENGINEER (AFFIX SEAL) DATE

**MUNICIPAL CLERK**

I HAVE CAREFULLY EXAMINED THIS MAP AND TO THE BEST OF MY KNOWLEDGE AND BELIEF IT COMPLIES WITH THE PROVISIONS OF THE TOWNSHIP ORDINANCES AND REQUIREMENTS APPLICABLE THEREIN.

MUNICIPAL CLERK DATE

**OWNER**

I HEREBY CERTIFY THAT I AM THE OWNER OF THE PROPERTY WHICH IS THE SUBJECT OF THIS APPLICATION AND THAT I CONSENT TO THE FILING OF THIS SUBDIVISION PLAN WITH THE PLANNING BOARD.

OWNER DATE

**NOTARY PUBLIC**

SHOWN AND SUBSCRIBED TO BEFORE ME THIS DAY OF

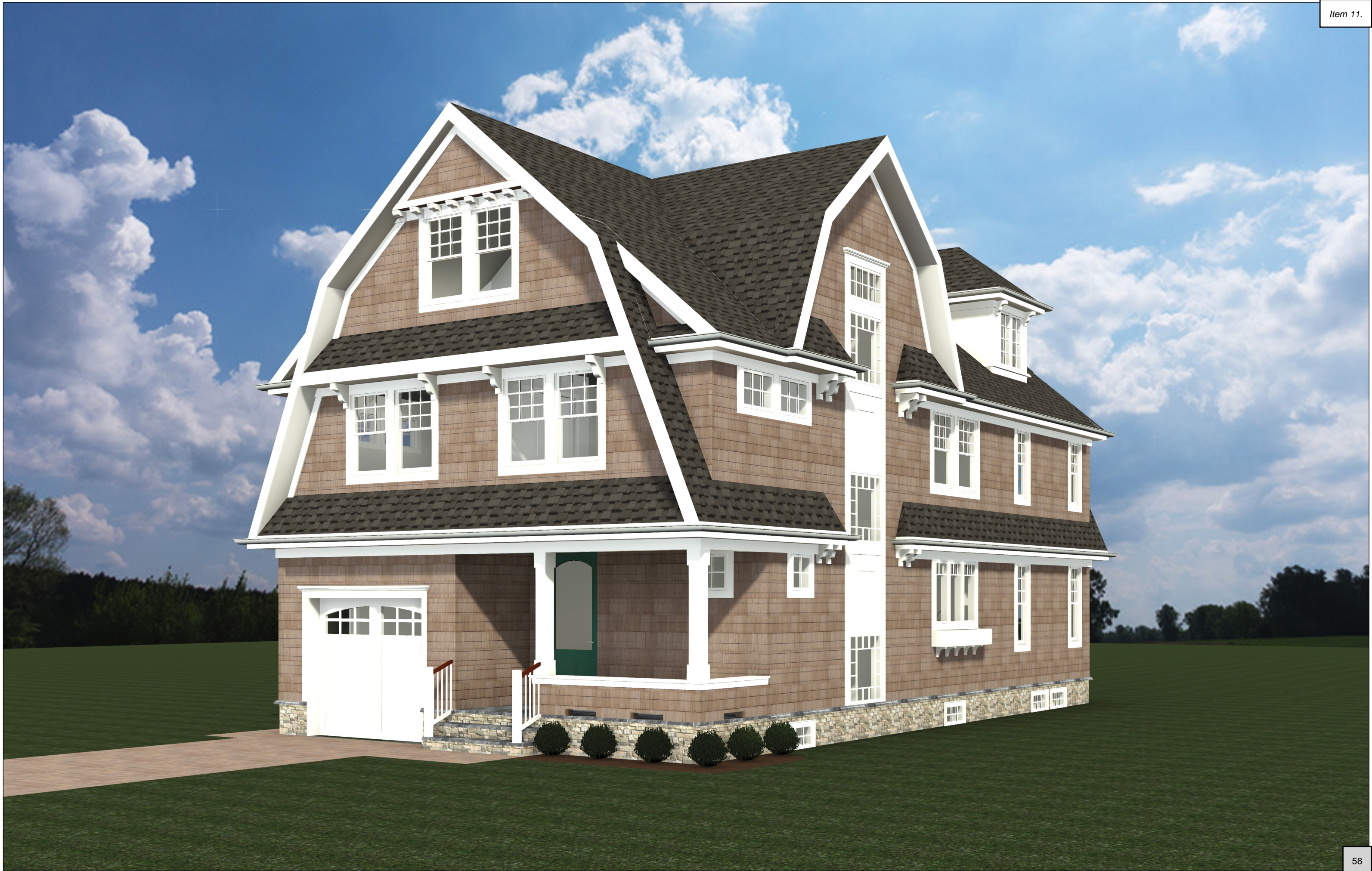
NOTARY PUBLIC DATE

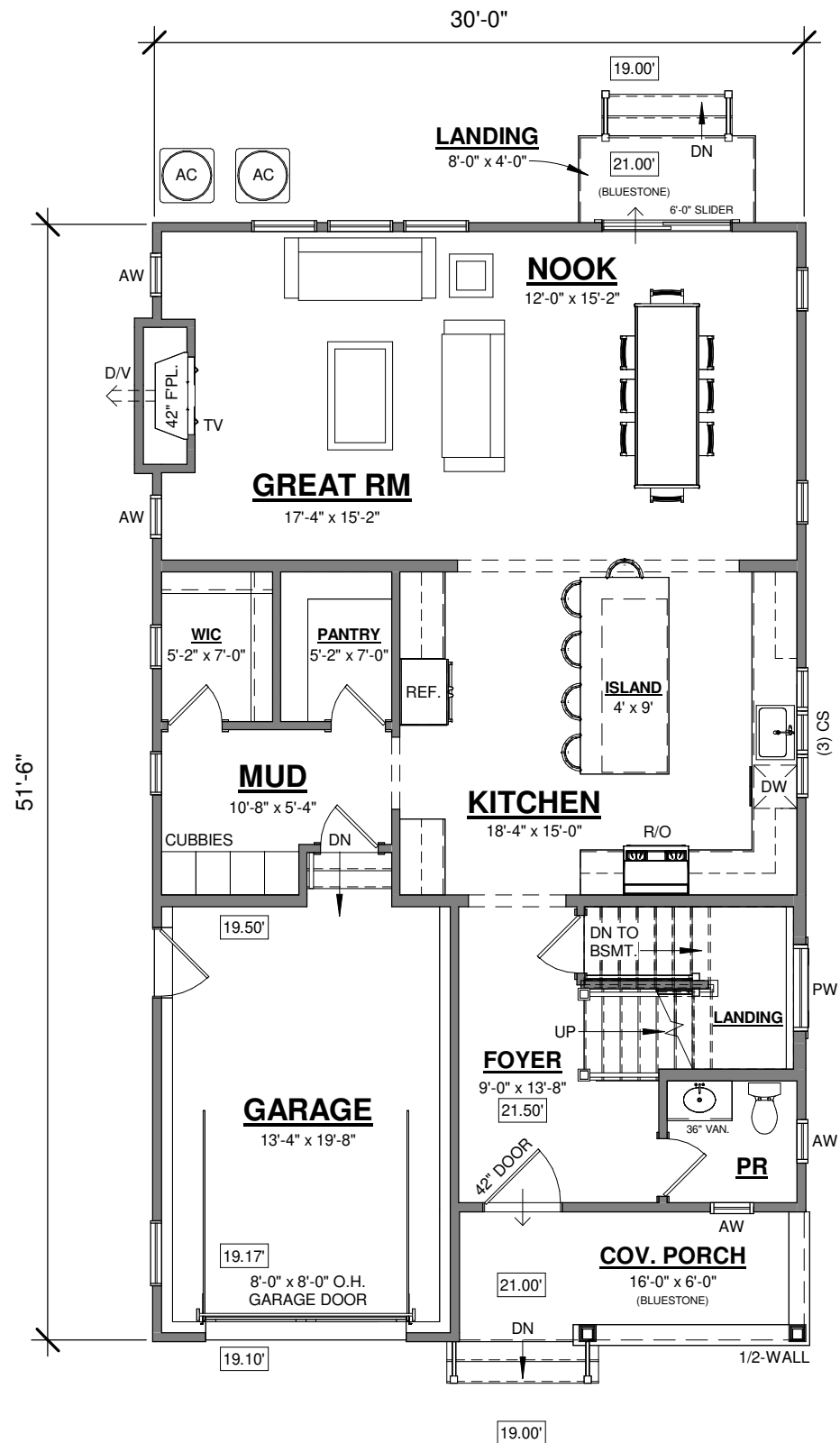
**MONMOUTH COUNTY PLANNING BOARD (STAMP)**

**PROPERTY OWNERS WITHIN 200' (09/07/2021)**

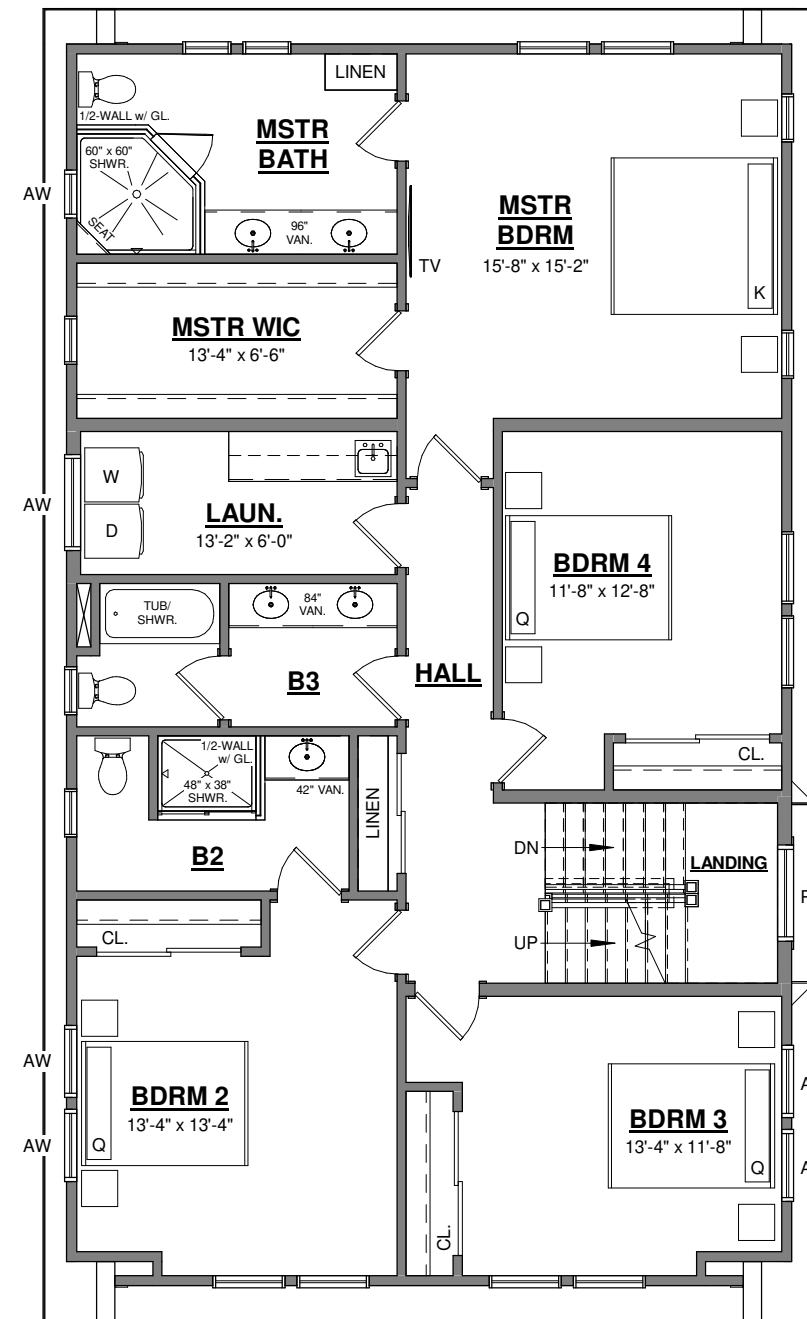
BLK	LOT	OWNER	STREET	BLK	LOT	OWNER	STREET
1	30	MANASQUAN, NJ 08736	183 SOUTH ST	1	30	MANASQUAN, NJ 08736	183 SOUTH ST
1	31	MANASQUAN, NJ 08736	183 SOUTH ST	1	31	MANASQUAN, NJ 08736	183 SOUTH ST
1	32	MANASQUAN, NJ 08736	183 SOUTH ST	1	32	MANASQUAN, NJ 08736	183 SOUTH ST
1	33	MANASQUAN, NJ 08736	183 SOUTH ST	1	33	MANASQUAN, NJ 08736	183 SOUTH ST
1	34	MANASQUAN, NJ 08736	183 SOUTH ST	1	34	MANASQUAN, NJ 08736	183 SOUTH ST
1	35	MANASQUAN, NJ 08736	183 SOUTH ST	1	35	MANASQUAN, NJ 08736	183 SOUTH ST
1	36	MANASQUAN, NJ 08736	183 SOUTH ST	1	36	MANASQUAN, NJ 08736	183 SOUTH ST
1	37	MANASQUAN, NJ 08736	183 SOUTH ST	1	37	MANASQUAN, NJ 08736	183 SOUTH ST
1	38	MANASQUAN, NJ 08736	183 SOUTH ST	1	38	MANASQUAN, NJ 08736	183 SOUTH ST
1	39	MANASQUAN, NJ 08736	183 SOUTH ST	1	39	MANASQUAN, NJ 08736	183 SOUTH ST
1	40	MANASQUAN, NJ 08736	183 SOUTH ST	1	40	MANASQUAN, NJ 08736	183 SOUTH ST
1	41	MANASQUAN, NJ 08736	183 SOUTH ST	1	41	MANASQUAN, NJ 08736	183 SOUTH ST
1	42	MANASQUAN, NJ 08736	183 SOUTH ST	1	42	MANASQUAN, NJ 08736	183 SOUTH ST
1	43	MANASQUAN, NJ 08736	183 SOUTH ST	1	43	MANASQUAN, NJ 08736	183 SOUTH ST
1	44	MANASQUAN, NJ 08736	183 SOUTH ST	1	44	MANASQUAN, NJ 08736	183 SOUTH ST
1	45	MANASQUAN, NJ 08736	183 SOUTH ST	1	45	MANASQUAN, NJ 08736	183 SOUTH ST
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1	49	MANASQUAN, NJ 08736	183 SOUTH ST	1	49	MANASQUAN, NJ 08736	183 SOUTH ST
1	50	MANASQUAN, NJ 08736	183 SOUTH ST	1	50	MANASQUAN, NJ 08736	183 SOUTH ST

The information contained herein is for informational purposes only and does not constitute an offer of insurance or any other financial product. It is not intended to be used as a basis for any investment decision. Please consult your broker for more information.





1 1st Floor Plan  
1/8" = 1'-0"



2 2nd Floor Plan  
1/8" = 1'-0"

**BUILDING PROGRAM**

1st Floor - 1,168 sq. ft.  
2nd Floor - 1,461 sq. ft.  
Half-Story - 629 sq. ft.  
Total - 3,258 sq. ft.

Garage - 287 sq. ft.  
Opt. Fin. Bsmt. - 608 sq. ft.  
Building Cov. - 1,551 sq. ft.  
(MAX. - 1,566 sq. ft.)

Drawn By: Item 11.  
Checked By: PG  
Date: 10/15/2021



**VIRTUOSO**  
ARCHITECTURE

**Paul Grabowski**  
Registered Architect

1330 Laurel Avenue  
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**SQUAN CUSTOM  
HOMES  
SOUTH STREET  
MANASQUAN, NJ  
BLOCK 70, LOT 2.041**

FLOOR PLANS

**B1** Scale: As indic 59

Drawn By: PG  
Checked By: PG  
Date: 10/15/2021




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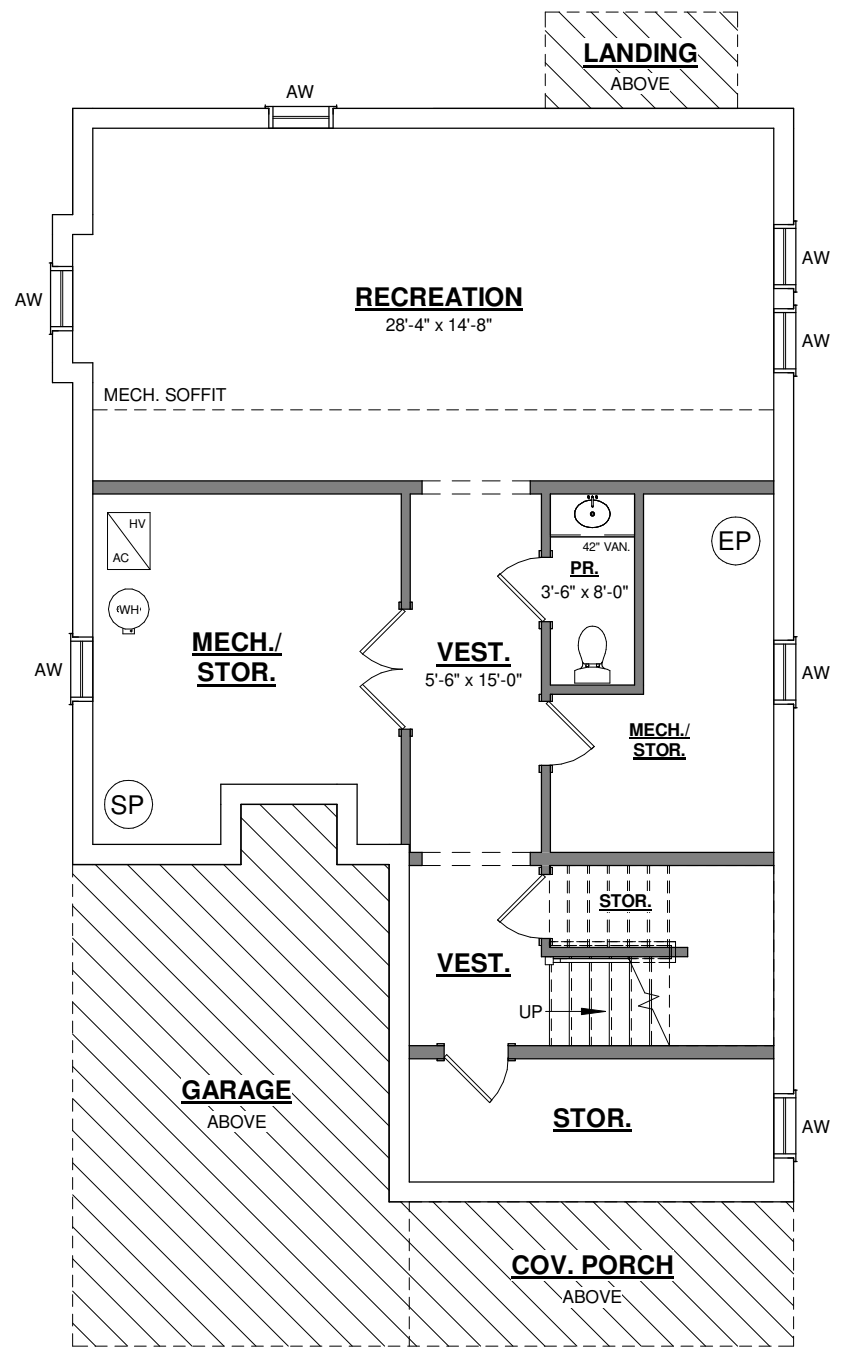
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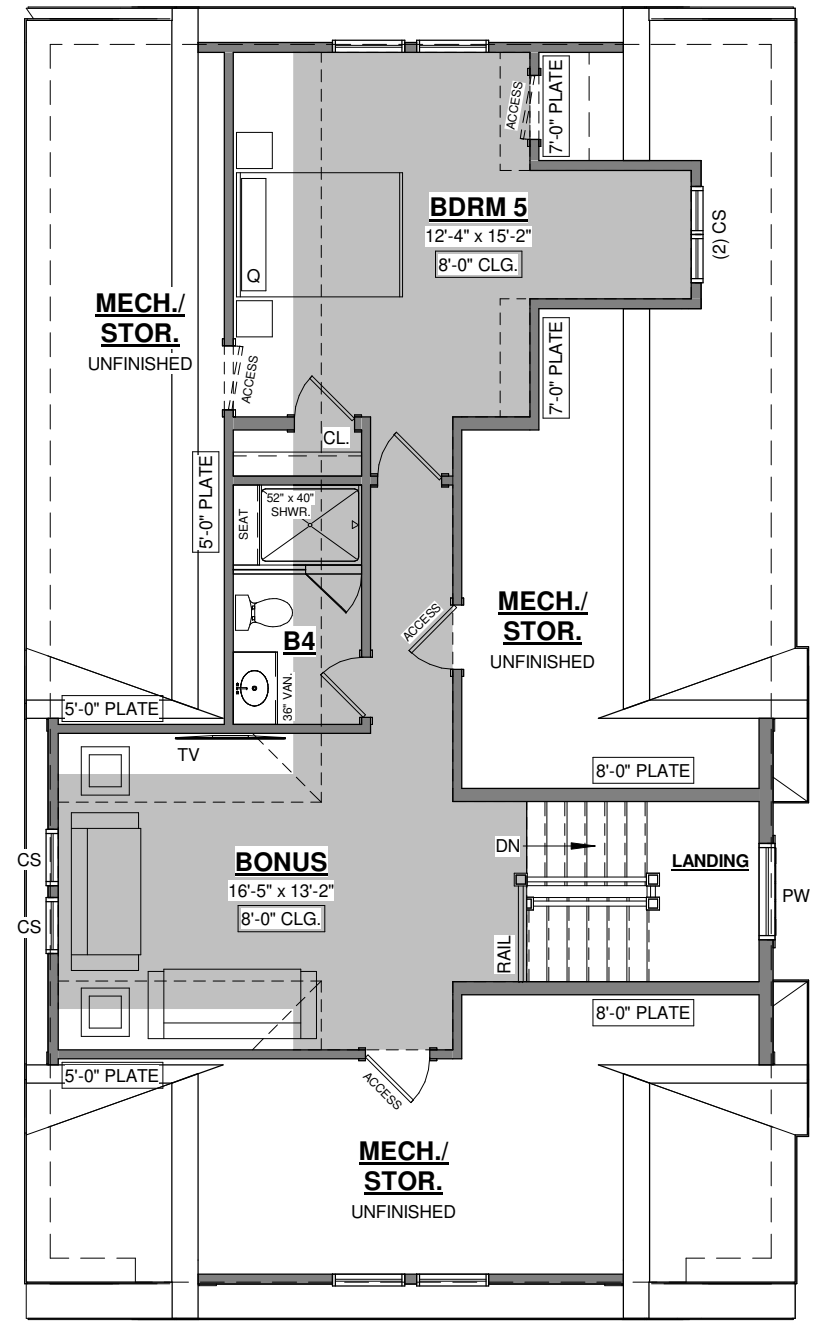
**SQUAN CUSTOM HOMES**  
SOUTH STREET  
MANASQUAN, NJ  
BLOCK 70, LOT 2.041

FLOOR PLANS

**B2** Scale: As indic 60



1 Opt. Basement Plan  
1/8" = 1'-0"



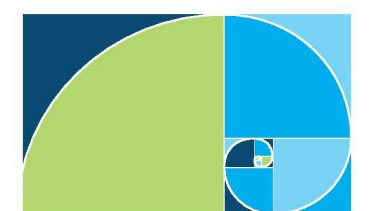
2 Half-Story Plan  
1/8" = 1'-0"

**HALF-STORY CALCS**

2nd Floor Total - 1,461 sq. ft.  
Half-Story 7'-0" & over - 479 sq. ft.  
Percentage - 32.79%  
(Under 33% meets code req.)

2nd Floor Total - 1,461 sq. ft.  
Half-Story 5'-0" & Over - 629 sq. ft.  
Percentage - 43.05%  
(Under 60% meets zoning req.)

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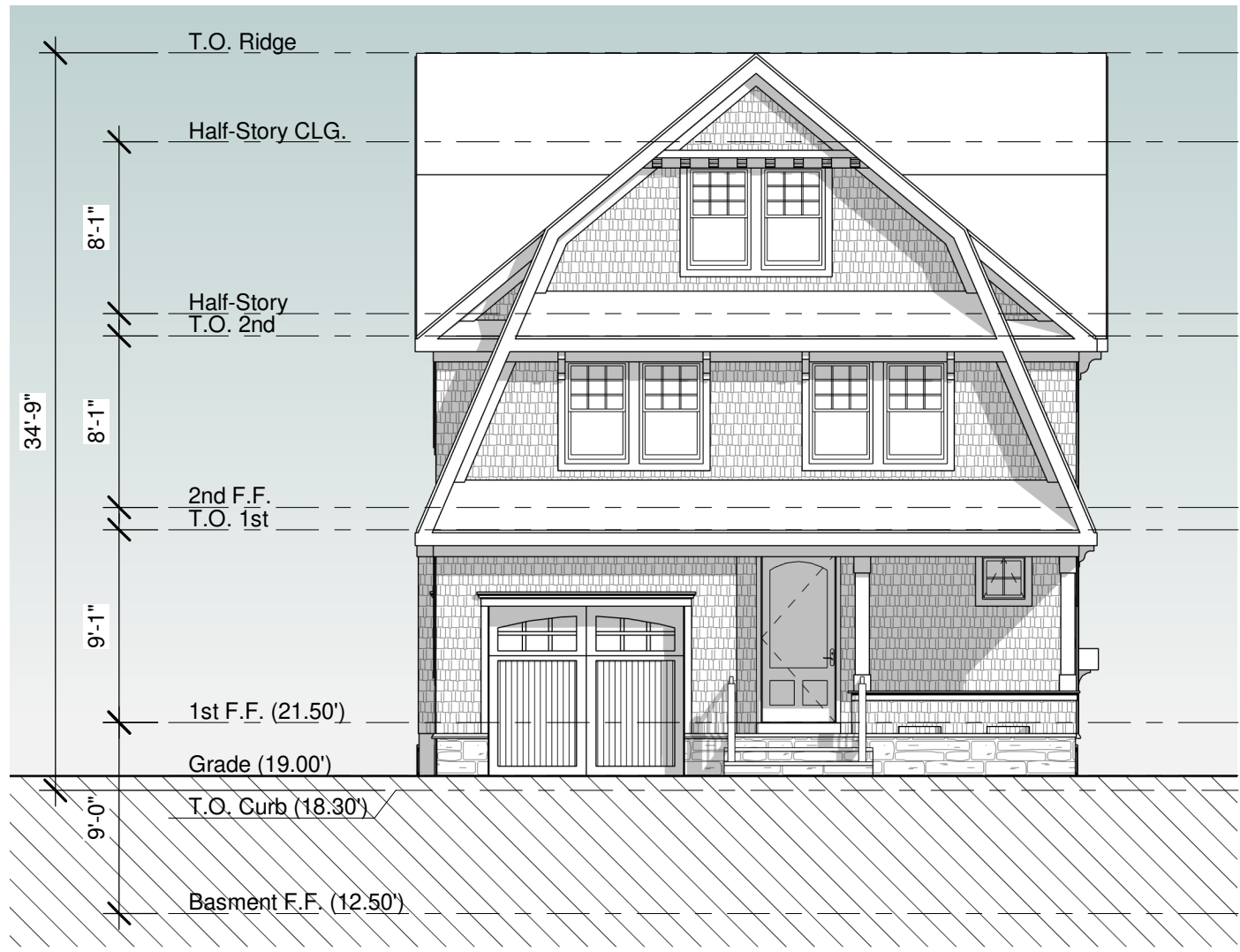
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**SQUAN CUSTOM  
HOMES**  
SOUTH STREET  
MANASQUAN, NJ  
BLOCK 70, LOT 2.041

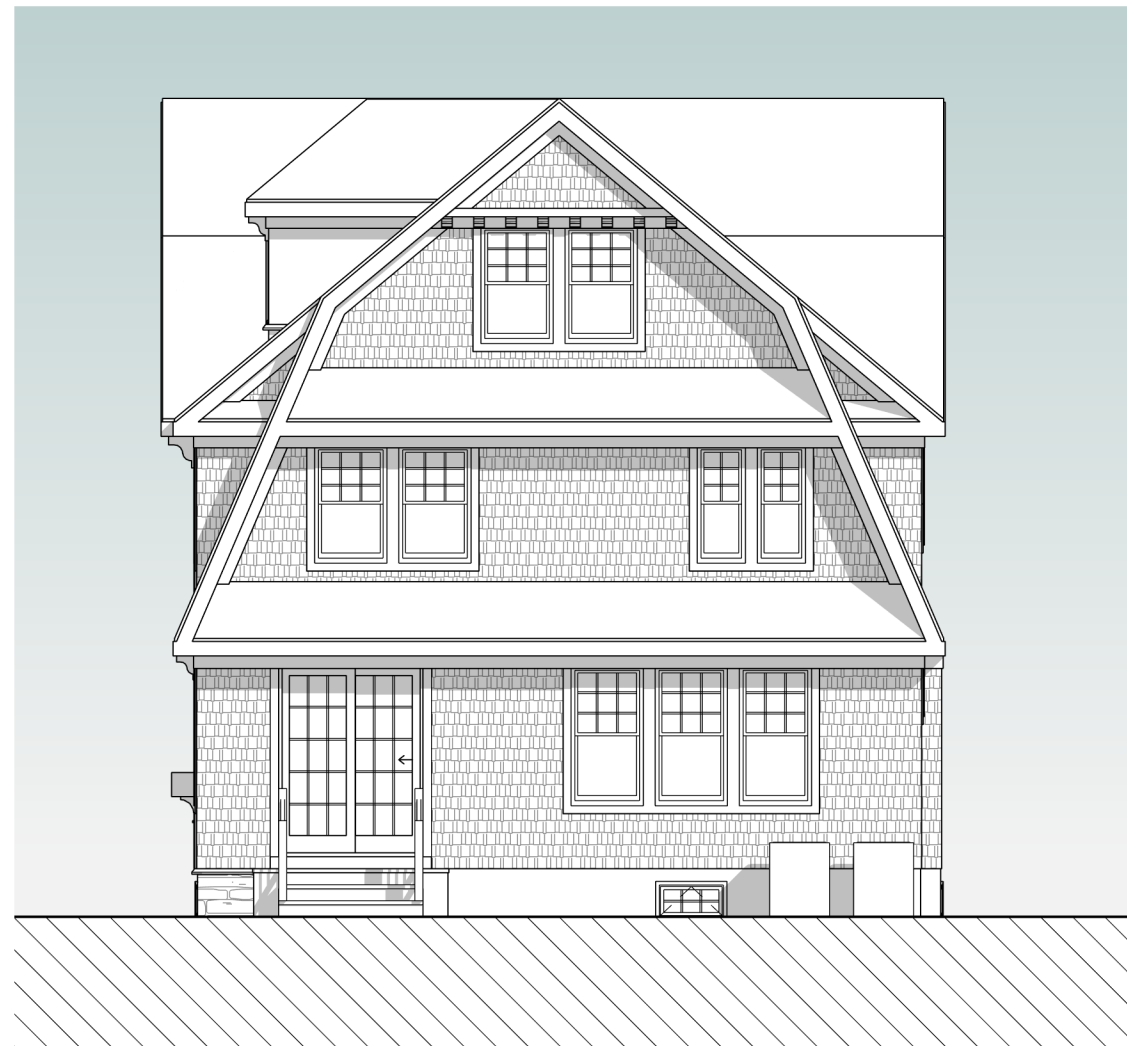
ELEVATION

**C1** Scale: 1/8" = 61

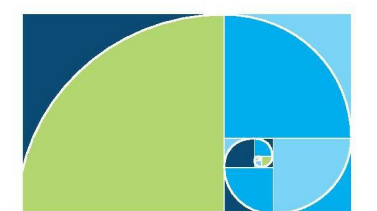


1 Front Elevation  
1/8" = 1'-0"

Drawn By:  
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Date: 10/15/2021



1 Rear Elevation  
1/8" = 1'-0"



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**SQUAN CUSTOM  
HOMES**  
SOUTH STREET  
MANASQUAN, NJ  
BLOCK 70, LOT 2.041

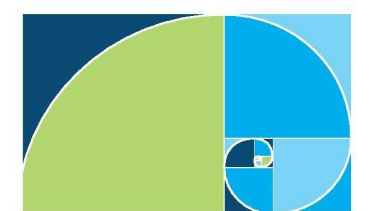
ELEVATION

**C2** Scale: 1/8" = 62

Drawn By:  
Checked By: PG  
Date: 10/15/2021



1 Right Elevation  
1/8" = 1'-0"



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**SQUAN CUSTOM  
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MANASQUAN, NJ  
BLOCK 70, LOT 2.041

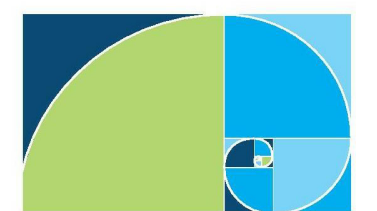
ELEVATION

**C3** Scale: 1/8" =

Drawn By:  
Checked By: PG  
Date: 10/15/2021



1 Left Elevation  
1/8" = 1'-0"



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**SQUAN CUSTOM  
HOMES  
SOUTH STREET  
MANASQUAN, NJ  
BLOCK 70, LOT 2.041**

ELEVATION





Item 11.  
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**SQUAN CUSTOM  
 HOMES  
 SOUTH STREET  
 MANASQUAN, NJ  
 BLOCK 70, LOT 2.041**

RENDERINGS

Drawn By: PG  
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Date: 10/15/2021



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**SQUAN CUSTOM  
HOMES  
SOUTH STREET  
MANASQUAN, NJ  
BLOCK 70, LOT 2.041**

RENDERINGS



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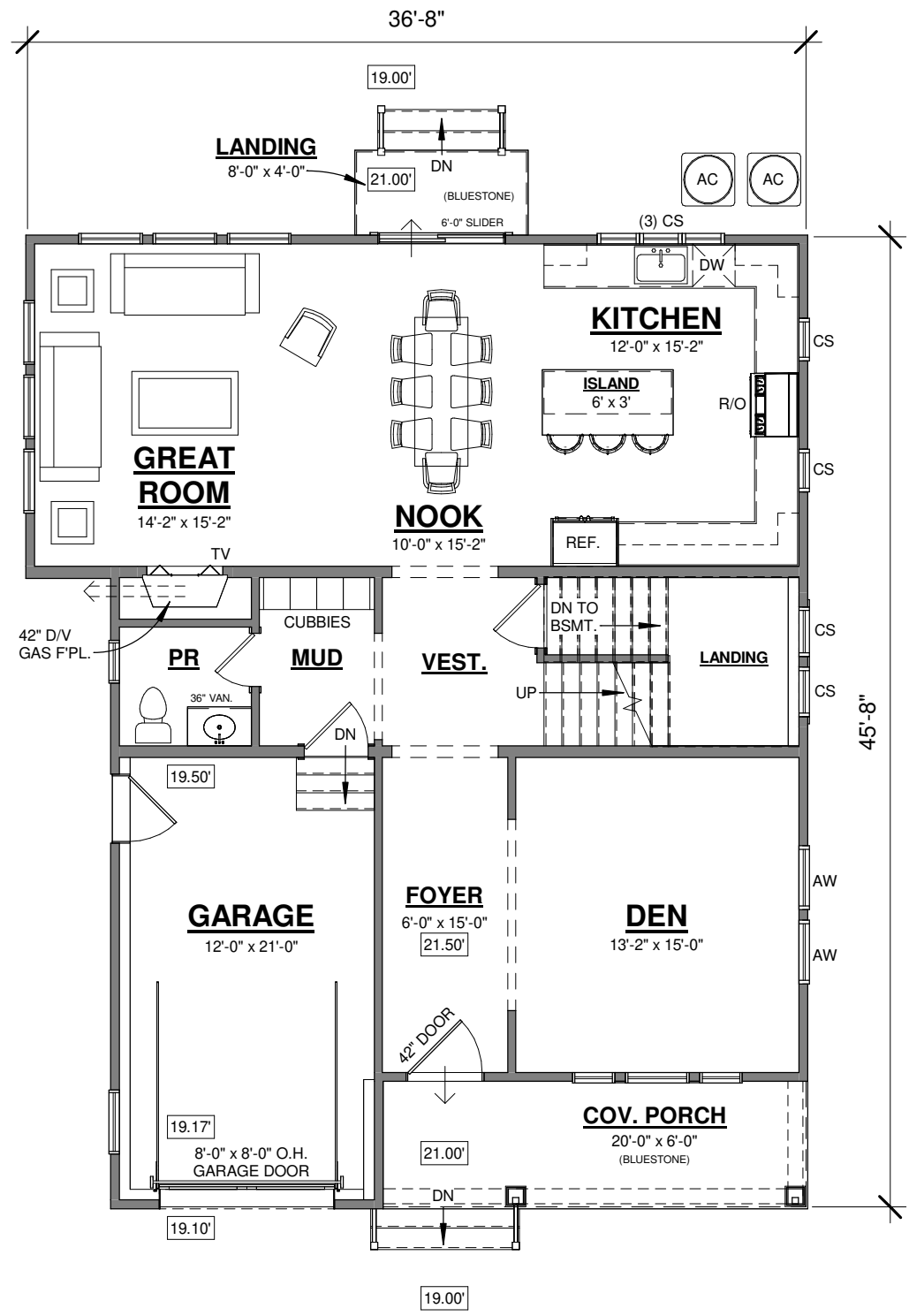
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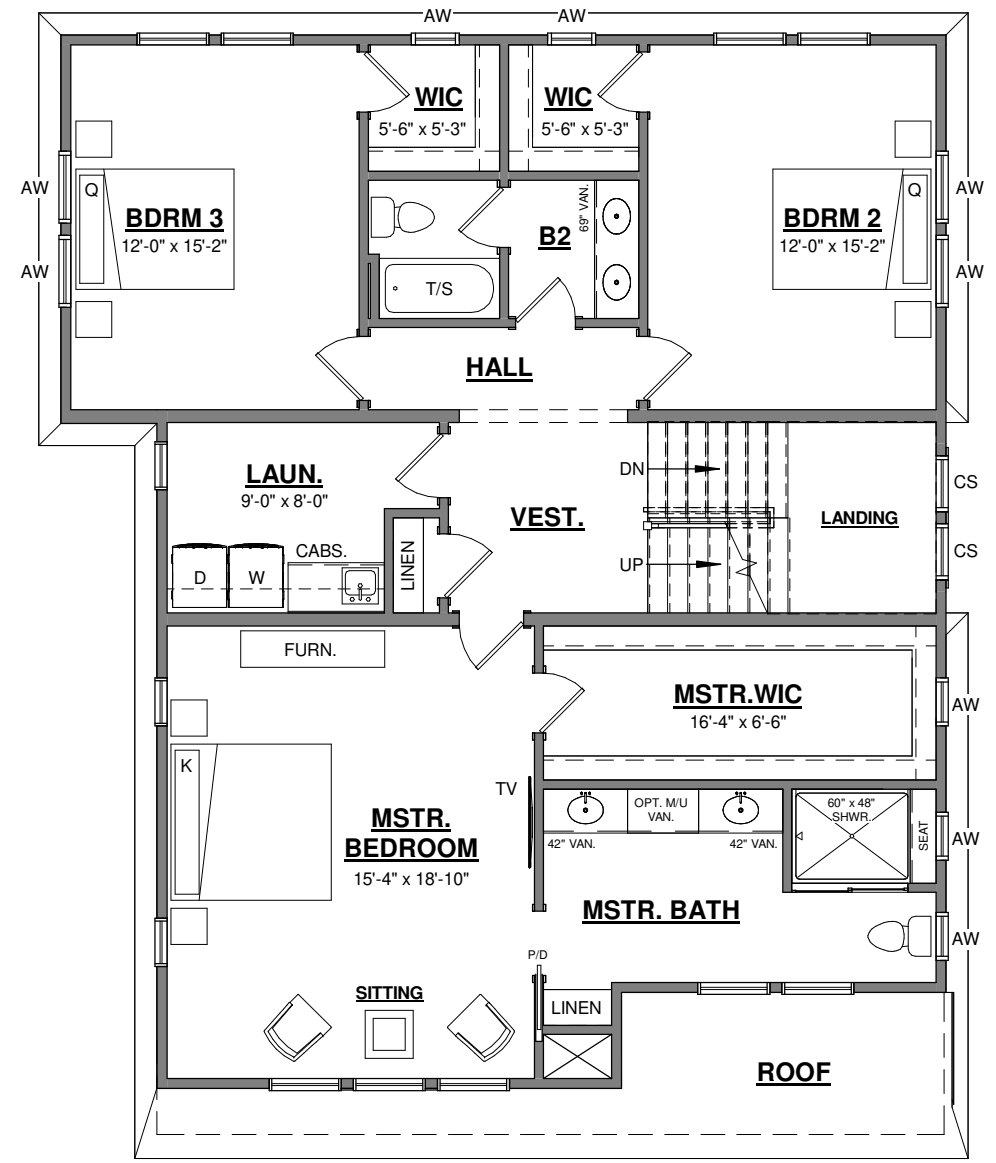
**SQUAN CUSTOM HOMES**  
SOUTH STREET  
MANASQUAN, NJ  
BLOCK 70, LOT 2.042

FLOOR PLANS

**B1** Scale: As indic 68



1 1st Floor Plan  
1/8" = 1'-0"



2 2nd Floor Plan  
1/8" = 1'-0"

**BUILDING PROGRAM**  
1st Floor - 1,172 sq. ft.  
2nd Floor - 1,338 sq. ft.  
Half-Story - 630 sq. ft.  
Total - 3,140 sq. ft.

Garage - 264 sq. ft.  
Opt. Fin. Bsmt. - 616 sq. ft.  
Building Cov. - 1,556 sq. ft.  
(MAX - 1,560 sq. ft.)

Drawn By: PG  
Checked By: PG  
Date: 10/15/2021



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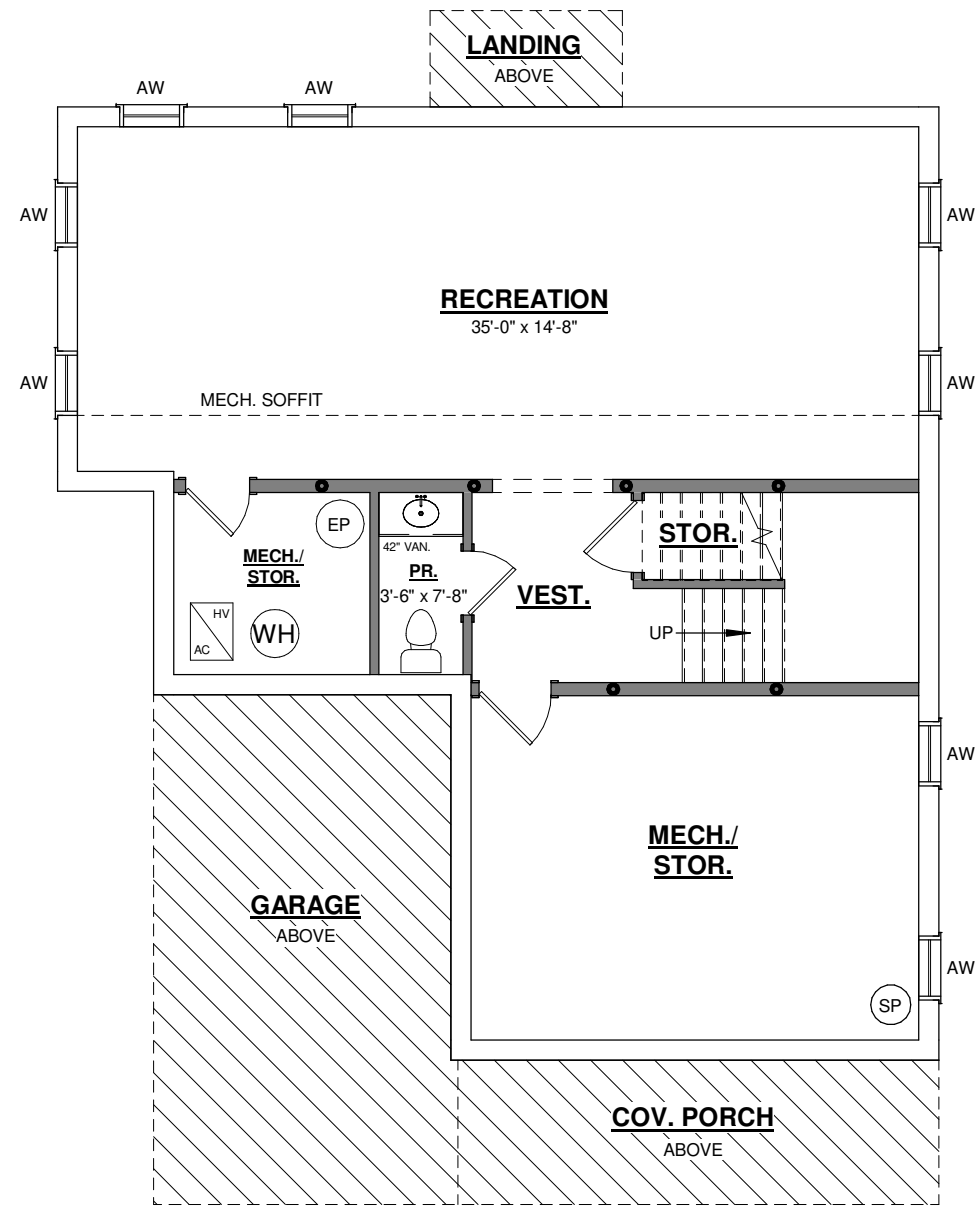
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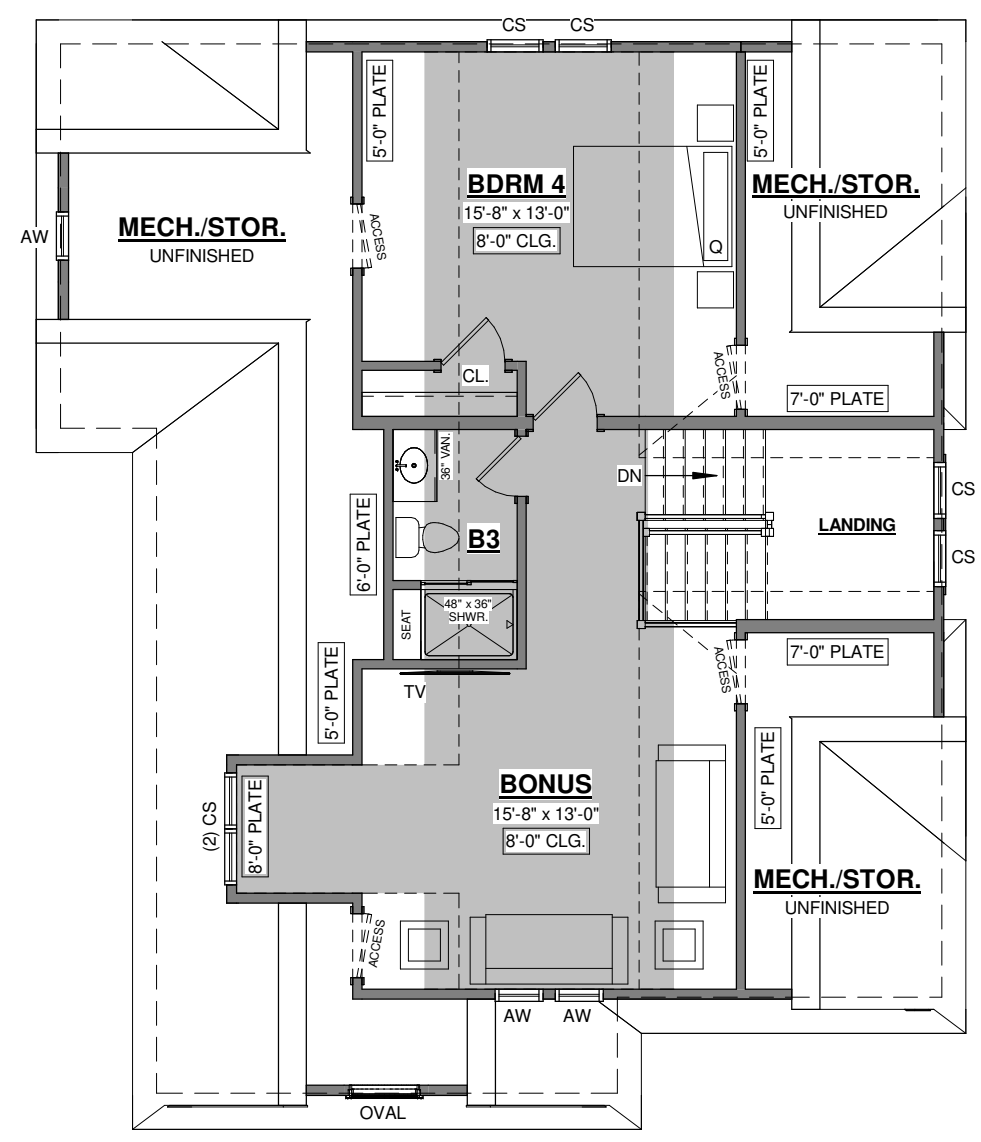
**SQUAN CUSTOM HOMES**  
SOUTH STREET  
MANASQUAN, NJ  
BLOCK 70, LOT 2.042

FLOOR PLANS

**B2** Scale: As indic 69



② Opt. Basement Plan  
1/8" = 1'-0"



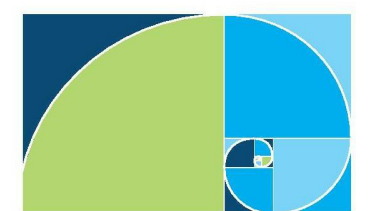
① Half-Story Plan  
1/8" = 1'-0"

**HALF-STORY CALCS**

2nd Floor Total - 1,338 sq. ft.  
Half-Story over 7'-0" - 438 sq. ft.  
Percentage - 32.74%  
(Under 33% meets code req.)

2nd Floor Total - 1,338 sq. ft.  
Half-Story 5'-0" & over - 630 sq. ft.  
Percentage - 47.09%  
(Under 60%, meets zoning req.)

Drawn By: PG  
Checked By: PG  
Date: 10/15/2021



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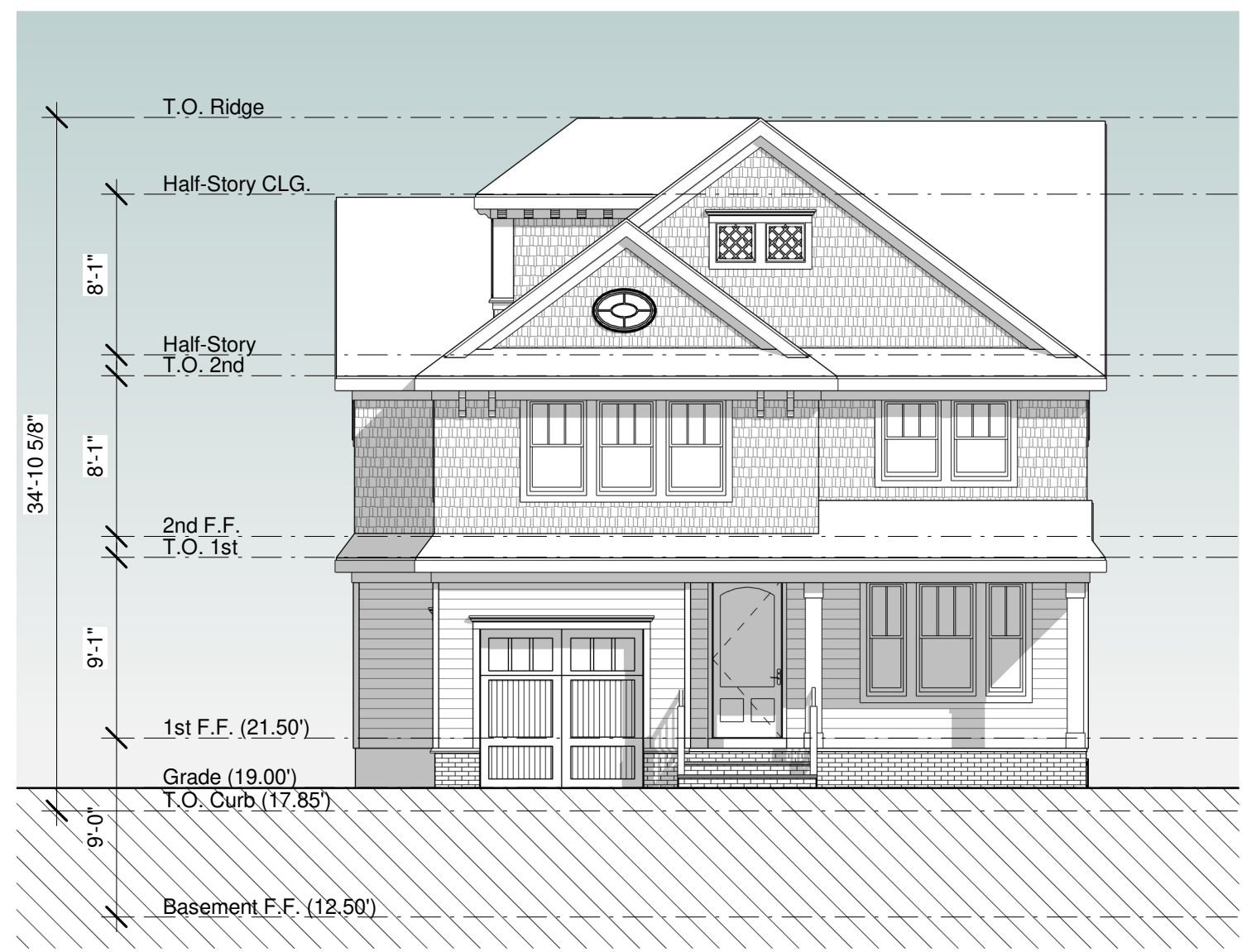
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**SQUAN CUSTOM  
HOMES**  
SOUTH STREET  
MANASQUAN, NJ  
BLOCK 70, LOT 2.042

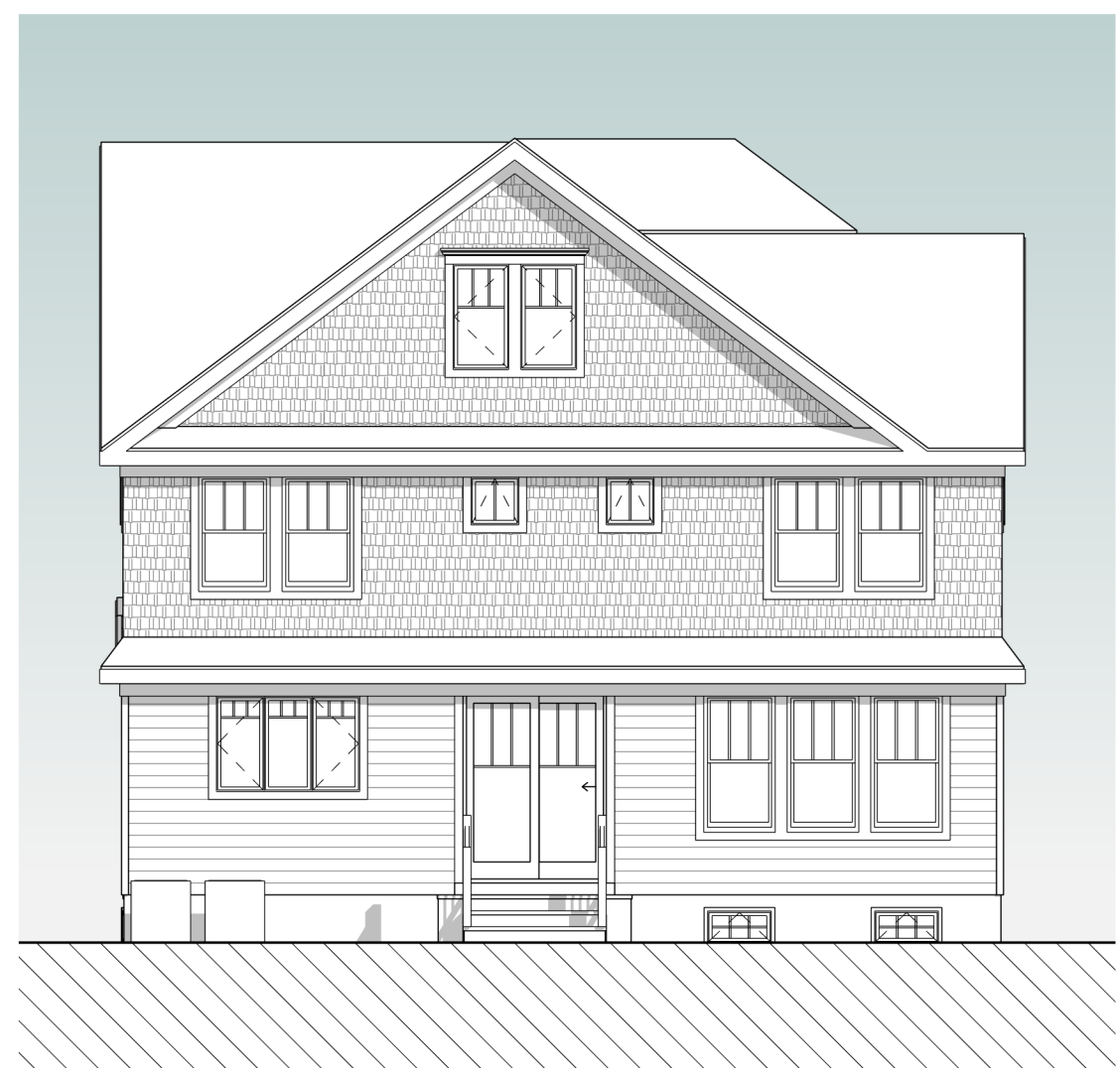
ELEVATION

**C1** Scale: 1/8" = 70



① **Front Elevation**  
1/8" = 1'-0"

Drawn By:  
Checked By: PG  
Date: 10/15/2021



① Rear Elevation  
1/8" = 1'-0"



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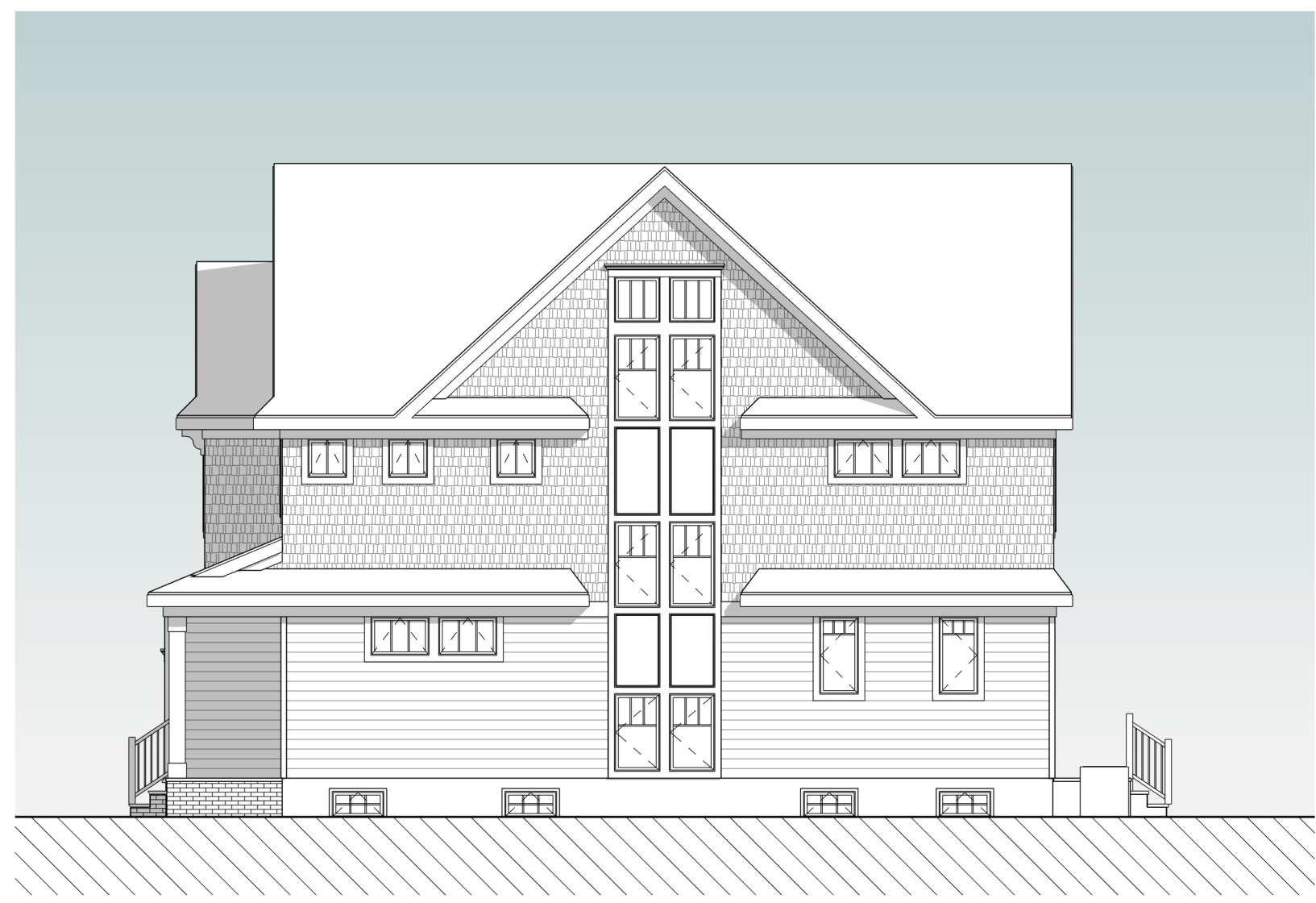
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SQUAN CUSTOM  
HOMES  
SOUTH STREET  
MANASQUAN, NJ  
BLOCK 70, LOT 2.042

ELEVATION

Drawn By: PG  
Checked By: PG  
Date: 10/15/2021



① Right Elevation  
1/8" = 1'-0"



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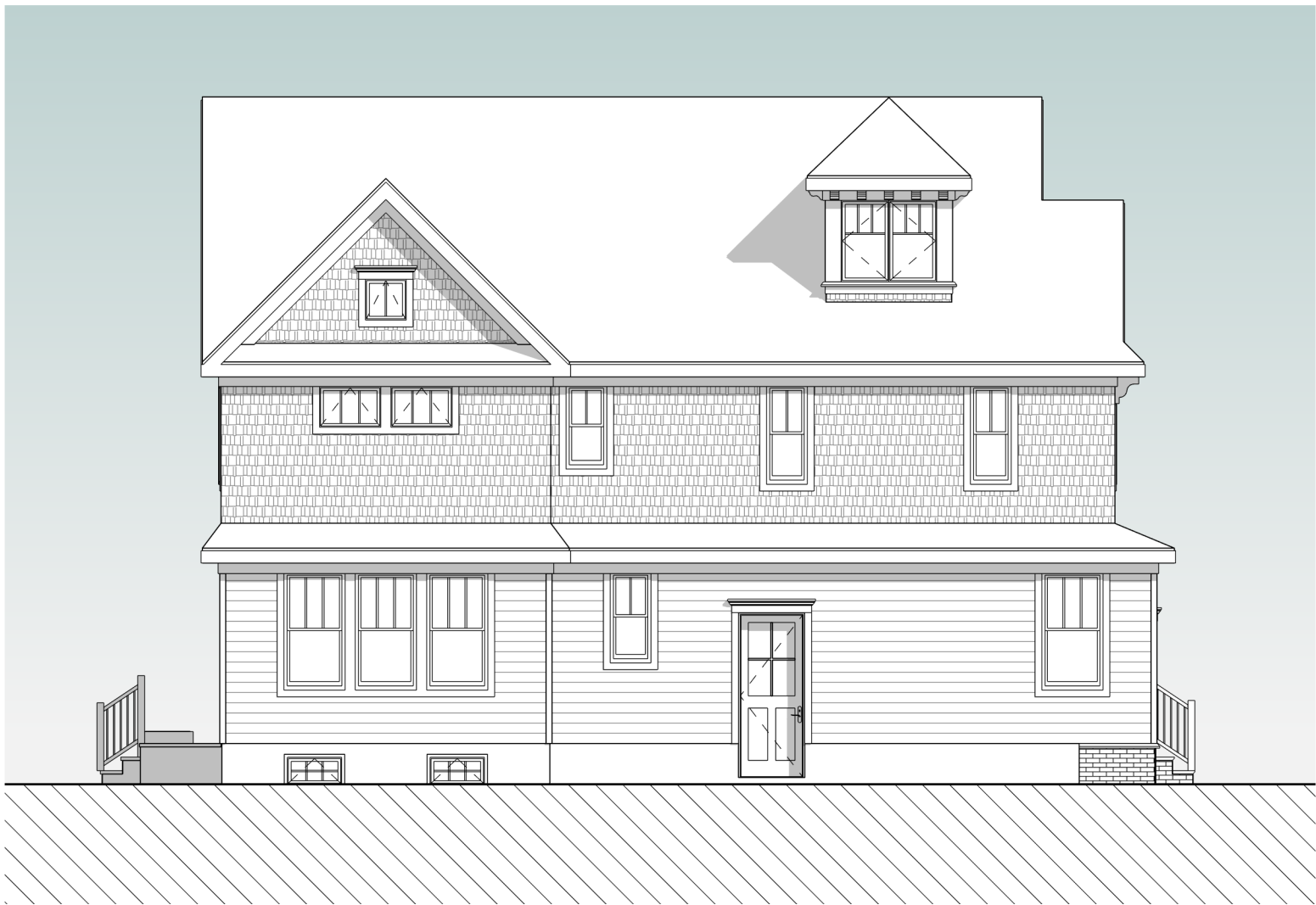
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**SQUAN CUSTOM  
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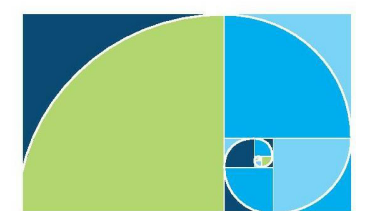
ELEVATION



Drawn By:  
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① Left Elevation  
1/8" = 1'-0"



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**SQUAN CUSTOM  
HOMES  
SOUTH STREET  
MANASQUAN, NJ  
BLOCK 70, LOT 2.042**

ELEVATION



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**SQUAN CUSTOM  
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 SOUTH STREET  
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 BLOCK 70, LOT 2.042**

RENDERINGS

Drawn By:  
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Date: 10/15/2021



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**SQUAN CUSTOM  
HOMES  
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MANASQUAN, NJ  
BLOCK 70, LOT 2.042**

RENDERINGS

**D2** Scale:

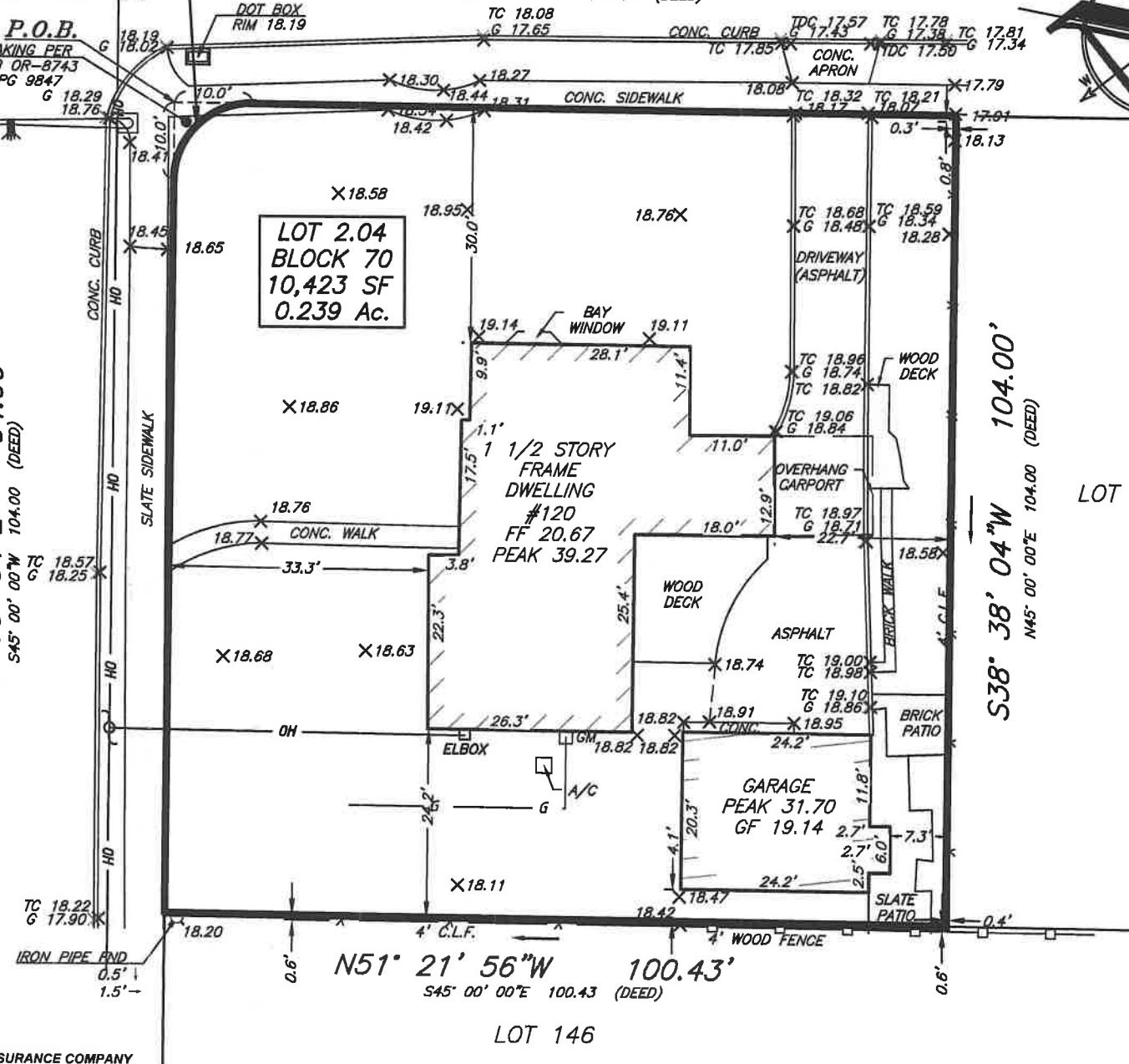
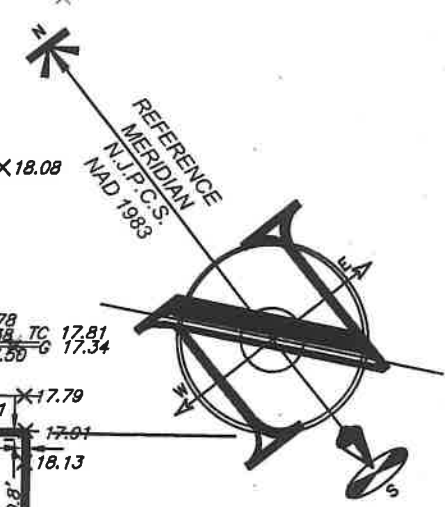
$R = 10.00'$   $L = 15.71'$   
 $\Delta = 90^\circ 00' 00''$

**MARCELLUS AVENUE (60' R.O.W.)**  
 (37' WIDE BIT. CONC.)

**SOUTH STREET (45' R.O.W.)**  
 (A.K.A. COUNTY ROUTE 20)

$N38^\circ 38' 04'' E$  94.00'  
 $S45^\circ 00' 00'' W$  104.00' (DEED)

$S51^\circ 21' 56'' E$  90.43'  
 $S45^\circ 00' 00'' W$  100.43' (DEED)



**CERTIFIED TO:**

- SQUAN CUSTOM HOMES, LLC
- OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY
- HENDERSON AND HENDERSON, P.C.

**SURVEY NOTES:**

THIS IS TO CERTIFY THAT THIS SURVEY IS ACCURATE, AND THAT THIS DRAWING IS A TRUE REPRESENTATION OF ACTUAL CONDITIONS EXISTING ON THE PROPERTY, EXCEPT SUCH EASEMENTS, IF ANY, THAT MAY BE LOCATED BELOW THE SURFACE OF THE LANDS, OR ON THE SURFACE OF THE LANDS AND NOT VISIBLE.

A WRITTEN WAIVER AND DIRECTION NOT TO SET CORNER MARKERS HAS BEEN OBTAINED FROM THE ULTIMATE USER PURSUANT TO P.L. 2003.C.14 (C45:8-36.3) AND N.J.A.C. 13:40 - 5.1(D).

THIS SURVEY WAS PREPARED WITH THE BENEFIT OF TITLE REPORT No. TA-29457 AND IS SUBJECT TO ANY EASEMENTS AND RESTRICTIONS CONTAINED THEREIN.

ALL EXISTING UTILITIES ARE APPROXIMATE PER MARKOUT AND VISIBLE FIELD EVIDENCE. ALL UTILITIES SHALL BE FIELD VERIFIED PRIOR TO EXCAVATION.

THIS SURVEY HAS NOT DETERMINED THE PRESENCE OF WETLANDS AT THE SITE.

SUBJECT PROPERTY IS NOT IN A FEMA FLOOD ZONE.

**SURVEY MAP REFERENCES:**

A MAP ENTITLED, "INTERSECTION IMPROVEMENTS AT COUNTY ROUTE 20, SOUTH STREET, AND MARCELLUS AVENUE / LAKEWOOD ROAD IN THE BOROUGH OF MANASQUAN, MONMOUTH COUNTY, NEW JERSEY", BY LGA ENGINEERING INC., DATED 12-04-07.

**FILED MAP REFERENCES:**

A MAP ENTITLED, "MAP OF SEA VIEW PROPERTY, 158, BUILDING LOTS, THE N.W. MORRIS PROPERTY, BOROUGH OF MANASQUAN, MONMOUTH COUNTY, NEW JERSEY," FILED IN THE MONMOUTH COUNTY CLERK'S OFFICE, DATED MAY 1, 1876 AS CASE NO. 30 SHEET NO. 22.

**DEED REFERENCES:**

- DB 5105 PG 0505
- DB 8743 PG 9847
- DB OR-8743 PG 9847

ALL ELEVATIONS ARE RELATIVE TO THE NORTH AMERICAN DATUM OF 1988 (NAVD88).

**BOUNDARY TOPOGRAPHIC & UTILITY SURVEY**

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**Site Location:**  
 120 SOUTH STREET  
 LOT 2.04, BLOCK 70  
 BOROUGH OF MANASQUAN  
 MONMOUTH COUNTY, NEW JERSEY

CAUTION: IF THIS DOCUMENT DOES NOT CONTAIN THE SIGNATURE AND RAISED SEAL OF THE PROFESSIONAL, IT IS NOT AN ORIGINAL AND MAY HAVE BEEN ALTERED

*Justin J. Hedges*  
**JUSTIN J. HEDGES**  
 PROFESSIONAL LAND SURVEYOR NJ LIC. NO. GS43362

**InSite Project No.**  
 21-S705-03  
**Drawing No.**  
 21-S705  
**Date**  
 07/27/21  
**Scale**  
 1" = 20'  
**Drawn By:**  
 GS / BMW  
**Checked By:**  
 JS  
**Revisions**  
 8/10/21 - BMW - CERTS